

Moreton Bay Regional Council

GENERAL MEETING - 534

21 July 2021

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ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MATERIAL CHANGE OF USE FOR DWELLING HOUSES, HOME BASED BUSINESS, PARK AND SALES OFFICE (INCLUDING A VARIATION REQUEST TO VARY THE EFFECT

#1 Annexures

Annexure A

MATERIAL CHANGE OF USE - PRELIMINARY APPROVAL	
CONDITIONS	
1.	Lapsing of approval for failing to complete development
	In accordance with section 88(1) of the <i>Planning Act 2016</i> , the development is to be completed within ten (10) years unless written approval has been obtained from Council for an extension of this period under section 86 of the <i>Planning Act 2016</i> (as amended). Note: The above is not the Currency Period under section 85(1)(a) of the <i>Planning Act 2016</i>
2.	Currency Period
	In accordance with section 85(1)(a)(i) of the <i>Planning Act 2016</i> , the development has a currency period of six (6) years unless written approval has been obtained from Council for an extension of this period under section 86 of the <i>Planning Act 2016</i> (as amended).
3.	Uses
	Ensure any development application seeking a Development Permit for a Material Change of Use under this Preliminary Approval for a Material Change of Use is limited to any or all of the following land uses; (i) Dwelling House, (ii) Home Based Business; (iii) Park; and (iv) Sales Office.

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Annexure B

The Variation Request is approved to vary the effect of the MBRC Planning Scheme to:

- apply the General Residential Zone - Next Generation Neighbourhood Precinct in part, the Environmental Management and Conservation Zone in part and the Sport and Recreation Zone in part to Lot 1 RP92508 as shown on the Amended Zone Map Plan listed in the table of approved plans for Lot 1 RP92508; and
- apply alternative Overlay Maps as shown on the various maps listed in the table of approved plans for Lot 1 RP92508; and
- amend the Dwelling House code to include a new 'Table 9.3.1.5 Setbacks' specific for Lot 1 RP92508;

at Lot 1 Warner Road, Warner more accurately described as Lot 1 RP92508, subject to the following Variations, Plans/Documents and Conditions:

APPROVED PLANS AND DOCUMENTS FOR LOT 1 RP92508			
Plan / Document Name	Reference Number	Prepared By	Dated
Amended Zone Map ZM-69 specific for Lot 1 RP92508	18-0083- PG22 Rev A	Peak Urban	23/09/2020
Amended Environmental Areas Overlay Map OM-69 EA specific for Lot 1 RP92508	18-0083- PG24 Rev A	Peak Urban	23/09/2020
Amended Bushfire Hazard Overlay Map OM-69 BFH specific for Lot 1 RP92508	18-0083- PG23 Rev A	Peak Urban	23/09/2020
Amended Dwelling House Code 'Table 9.3.1.5 Setbacks' specific for Lot 1 RP92508	DA/42661/2020/V23R - Variation to Dwelling House Code - Ausbuild Warner	-	23/11/2020

VARIATIONS	
A.	VARIATION OF THE MORETON BAY REGIONAL COUNCIL PLANNING SCHEME
(i)	The Zone Map ZM-69 in Schedule 2.3 Zone Maps of the MBRC Planning Scheme is amended with Lot 1 RP92508 to be included, in part, in the General Residential Zone - Next Generation Neighbourhood Precinct and in part, in the Environmental Management and Conservation Zone and in part, in the Sport and Recreation Zone as shown on the Amended Zone Map ZM-69 specific for Lot 1 RP92508 identified as Plan 18-0083- PG22 Rev A in the Approved Plans package.
(ii)	The Environmental Areas Overlay Map OM-69 EA in Schedule 2.5 Overlay Maps of the MBRC Planning Scheme specific only to Lot 1 RP92508 is varied to the Amended Environmental Areas Overlay Map OM-69 EA specific for Lot 1 RP92508 identified as Plan 18-0083- PG24 Rev A in the Approved Plans package.
(iii)	The Bushfire Hazard Overlay Map OM-69 BFH in Schedule 2.5 Overlay Maps of the MBRC Planning Scheme specific only to Lot 1 RP92508 is varied to the Amended Bushfire Hazard Overlay Map OM-69 BFH specific for Lot 1 RP92508 identified as Plan 18-0083- PG23 Rev A in the Approved Plans package.
(iv)	The Dwelling House Code in section 9.3.1 of the MBRC Planning Scheme is varied to remove the existing "Table 9.3.1.5 Setbacks" and apply the "Ausbuild Warner Table 9.3.1.5 Setbacks" instead as attached to and a part of this variation approval unless otherwise approved by Council's delegate in writing.

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B.	REFERENCES
	<p>Any references in the MBRC Planning Scheme including to a Code, Table of Assessment or Planning Scheme Policy to a;</p> <ul style="list-style-type: none">(i) Zone Overlay Map,(ii) Environmental Areas Overlay Map, and(iii) Bushfire Hazard Overlay Map, <p>in respect to the development of Lot 1 RP92508 is to be taken as referring to the mapping shown in the Approved Plan package.</p>

VARIATION CONDITIONS	
V1.	In accordance with section 88(2) of the <i>Planning Act 2016</i> , the development is to be completed within ten (10) years unless written approval has been obtained from Council for an extension of this period under section 86 of the <i>Planning Act 2016</i> (as amended).
V2.	This variation is limited to the area identified on the Approved Plans being Lot 1 RP92508.
V3.	<p>This variation is limited to the following land uses;</p> <ul style="list-style-type: none">(i) Dwelling House,(ii) Home Based Business;(iii) Park; and(iv) Sales Office. <p>To remove any doubt, any development application for a land use other than those listed above does not have the benefit of being able to rely on this variation approval and therefore is to be assessed against the version of the planning scheme in effect at the time the development application is made to the Council.</p>
V4.	Any development application seeking a Development Permit under this Preliminary Approval including a Variation Request is to be assessed against the version of the MBRC Planning Scheme in effect when the development application is properly made, as varied by this variation. To remove any doubt, the specific variations given in this approval prevail over any future amendments to the MBRC Planning Scheme.
V5.	<p>Any use proposed to commence operating under this Preliminary Approval as Accepted Development is to comply with the version of the planning scheme in effect on the date;</p> <ul style="list-style-type: none">(i) when the use commenced, or(ii) if a Development Permit for Building Works is required for the use to commence, when the Development Permit was given, <p>as and wherever varied by this variation. To remove any doubt, the specific variations given in this approval prevail over any future amendments to the MBRC Planning Scheme.</p>
V6.	Any reconfiguration of a lot relying on this variation approval is to be done in accordance with the reconfiguring a lot aspect of this development approval lodged concurrently with this development application.

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Annexure C

Approved Plans and Documents			
Plan / Document Name	Reference Number	Prepared By	Dated
Engineering Services Report	20-0164ESR01-V2	Peak Urban	February 2021
Landscape Concept Package (Amended in Red by Council)	9513 G	Saunders Havill Group	June 2021
Updated Bushfire Hazard Assessment and Mitigation Plan	-	Bushland Protection Systems	18 February 2021
Plan of Subdivision	18-0083-PS1 B	Peak Urban	18 May 2021
Plan of Development	18-0083-PD2 C	Peak Urban	3 June 2021
Car Parking Plan	18-0083-PG20 C	Peak Urban	3 June 2021
Path Hierarchy Plan	18-0083-PG21 C	Peak Urban	3 June 2021

Plans to be Amended			
Plan / Document Name	Reference Number	Prepared By	Dated
Subdivision Plan	18-0083-PP6 C	Peak Urban	31 May 2021
Flood Assessment and Stormwater Management Plan	6326-01_R3_V05.docx	Water Technology	24 February 2021
Engineering Services Report	20-0164ESR01-V2	Peak Urban	February 2021

CONDITION		TIMING
RECONFIGURING A LOT - STAGE 2A ONLY		
DEVELOPMENT PLANNING		
1.	Approved Plans	
	Undertake development generally in accordance with the approved plans. These plans and/or documents will form part of the approval, unless otherwise amended by conditions of this approval.	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. a survey plan) and to be maintained at all times.
2.	Bushfire Emergency Access Easement	
A	Construct an emergency all weather vehicle access track (minimum 6.0m wide) extending between Warner Road and the road reserve north of approved Lot 15 of the Neighbouring Approval to the east on Lot 2 RP195936 to a standard suitable for a standard dual axle vehicle to traverse.	Prior to submitting to the Council any request for approval of a plan of

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B	Register an access easement over the full width of the access track in favour of the Council and its invitees that has a minimum width of 6 metres as is generally shown on the approved plans. The easement will be released in the future if and when an alternative public vehicular access into the development to the east on Lot 2 RP195936 is available.	subdivision (i.e. a survey plan).
RECONFIGURING A LOT - STAGES 3 & 4 ONLY		
DEVELOPMENT PLANNING		
3.	Approved Plans and/or Documents	
	Undertake development generally in accordance with the approved plans and/or documents. These plans and/or documents will form part of the approval, unless otherwise amended by conditions of this approval.	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. a survey plan) and to be maintained at all times.
4.	Amended Plan Required	
A	<p>(i) Submit an amended Subdivision Plan and associated documents / reports incorporating the following:</p> <p>(a) A modified Contemporary Residential Road (Local Collector - major access street running north-south) having the attributes as listed below,</p> <ol style="list-style-type: none"> 1. Pavement width is 9.0m that include a 2.4m roadside parking lane on the western side. 2. Eastern verge immediately fronting proposed Lots 87, 88, 91 through to 102 is 4.5m wide with a 1.5m wide concrete footpath. The footpath is to be set back 1.5m behind the eastern kerb line. 3. Western verge immediately fronting proposed Lots 103, 116, 123, 124 and 126 through to 131 is 5.0m wide with a 2.0m wide concrete footpath. The footpath is to be set back 1.5m behind the western kerb line. <p>(b) Demonstrate in line with above Item (a) that the proposed layout and road design will not have any negative impacts on the functionality and performance of the intended street network, including vehicular movement, the provision of service corridors for sewerage, water, electrical and communications and other street furniture to accord with MBRC requirements.</p> <p>(c) Demonstrate that the temporary turn around facilities provided in Stage 3 are within an easement for access purpose in favour of Council and can accommodate the required manoeuvring of a 12.5m HRV vehicle at the end of the 16.5m wide New Road. Specifically, at the following locations:</p> <ol style="list-style-type: none"> 1. North of proposed Lot 117 & 177, and 2. West of proposed Lot 125 <p>(ii) Submit an amended Site-Specific Stormwater Management Plan (SMP) within the Engineering Services Report incorporating the following:</p>	Prior to the lodgement of application for Operational Works.

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	<p>(a) Demonstrate that stormwater (Overland Flow) coming to the site (all along western boundary) is appropriately captured, handled within development site and discharged to the lawful point of discharge.</p> <p>Note: The SMP must be agreeable to all involved parties including any adjoining lot owners and Council. The adjoining lot owners' consent is to be submitted for Council review and record. The SMP must accord with the MBRC Planning Scheme and any other relevant standard requirements unless otherwise agreed by Council.</p> <p>(b) Demonstrate that any stormwater drainage infrastructure as required in line with item (a) above and being located within private property is located within an easement in favour of Council. Configuration of the easement must accord with the MBRC Planning Scheme Policy requirements unless otherwise agreed by Council.</p>	
B	Obtain approval from Council for the amended documents / plans in accordance with (A) above.	
C	Implement the requirements and recommendations of the approved plan(s). The approved amended plan(s) will form part of the approval.	
5.	Entry Statement	
	<p>Establishment of any "Entry Statement" as a marketing strategy for the development must accord with the following, unless otherwise approved by Council:</p> <ul style="list-style-type: none"> (i) Located within a privately owned allotment or on the boundary of a privately owned allotment; (ii) Limited to one (1) entry statement per development; (iii) Constructed of durable, weather resistant materials; (iv) Positively contributes to the character of the surrounding area; and (v) Does not contain the logo of any developer or other entity. 	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. survey plan).
6.	Landscaping for Reconfiguring a Lot	
A	Carry out landscaping and associated earthworks, site preparation and other necessary works in accordance with approved plans, details and technical specifications of any proposed planting or landscape work (both soft and hard works) where such works will be on land under the control of Council, whether as a park, reserve or road reserve. Landscaping is to accord with Planning scheme policy - Integrated design Appendix D - Landscaping.	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. survey plan).
B	Before commencing the works obtain approval for the plans, details and technical specifications of any planting or landscape work from Council.	Prior to work commencing on site.
7.	Street Trees	
	<p>Provide street trees within the development and along the frontage of the site to Warner Road in accordance with Planning scheme policy - Integrated design Appendix D - Landscaping. Specifically, the</p> <ul style="list-style-type: none"> (i) species choices are set out in section 4.4; (ii) pot size is set out in section 4.2; and (iii) number to be provided is set out in section 4.3. 	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. survey plan).
8.	Water and/or Sewerage	
	Submit to Council a Certificate of Completion or Provisional Certificate of Completion (for each stage where there are stages) for the development	Prior to submitting to the Council any

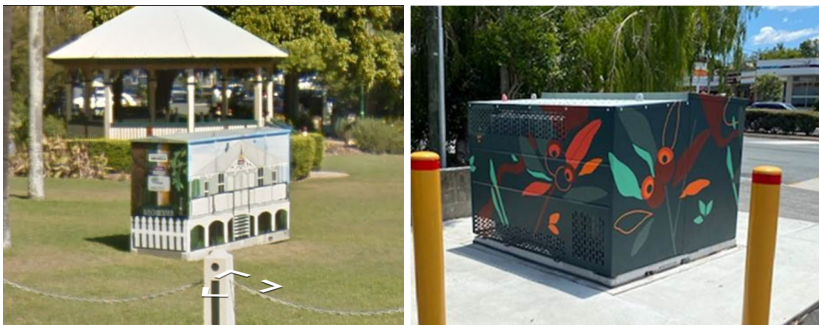
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	from the Northern SEQ Distributor-Retailer Authority (Unitywater) confirming: (i) a reticulated water supply network connection is available to the land; and (ii) a sewerage network connection is available to the land; and (iii) all the requirements of Unitywater have been satisfied.	request for approval of a plan of subdivision (i.e. survey plan) for each stage of the development where there are stages.
9.	New Telecommunications Infrastructure	
A	Provide Fibre-Ready telecommunications infrastructure (pit and pipe) throughout the development in accordance with the Communication Alliance specifications contained within Industry Guideline G645:2011 Fibre Ready Pit and Pipe Specifications for Real Estate Development Projects or in accordance with the NBN Co. specifications contained within New Developments: Deployment of the NBN Co Conduit and Pit Network – Guidelines for Developers NBN-TE-CTO-194 and Creating Pit and Pipe Designs for New Developments (Job Aid for Developers) NBN-TE-CTO-586, as amended and current at the date of installation.	Prior to the development being accepted on maintenance.
B	Provide certification from a RPEQ electrical engineer that the works specified in (A) above have been installed and evidence that a telecommunications carrier licensed under the <i>Telecommunications Act 1997</i> has agreed to take ownership of the infrastructure. Note: Council policies are available on Council's website.	
10.	Electricity	
A	Provide evidence (e.g. Certificate for Electricity Supply to Subdividers with Agreement Number or Certificate of Supply) demonstrating that an underground electricity supply network has or will be constructed within all new roads and along the frontage of each proposed lot.	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. survey plan).
B	Provide an underground electricity supply connection to each proposed lot.	
C	Submit certification from a licensed surveyor, Registered Professional Engineer of Queensland (RPEQ) or registered building surveyor that any electricity connections and infrastructure made redundant by the development is removed with the land reinstated.	
D	Ensure any PAD Mount transformer located immediately adjacent to proposed public use land / open space is painted with a mural or has a film applied on all sides that integrates the infrastructure into the location of being adjacent to the open space. Concepts for the mural are to be approved by Council and align with the use of the adjoining land as open space or alternatively the environmental values of the area e.g. koalas or a previous use of the land. An example is shown in the image below; 	
E	Submit certification from a licensed surveyor, Registered Professional Engineer of Queensland (RPEQ) or registered building surveyor that any	

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	electricity connections and infrastructure made redundant by the development is removed with the land reinstated.	
11.	Smart Technology	
A	Ensure in the designing and construction of the new East / West road in proposed Lot 4 of Stage 2A and adjacent to proposed Lot 3 of Stage 2A, provision is made for the installation of conduits (with draw wires) for electricity and telecommunications along the length of the new road for future smart poles (to accommodate potentially smart lighting, 5G, electric car charging and the like) in accordance with Council's requirements.	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. survey plan) for each respective stage of the development.
B	Provide and deliver in the landscaping design of the proposed Local Park in proposed Lots 2 and 3 of Stage 2A and the part of proposed Lot 1 between lots 2 and 3 of Stage 2A, unless agreed to otherwise in writing by the Council; (i) the installation of conduits (with draw wires) for electricity and telecommunications extending from the new East / West road (in proposed Lot 4 of Stage 2A and adjacent to proposed Lot 3 of Stage 2A) to the playground required to be delivered in proposed Lot 3 by other conditions of this approval and proposed Lot 2 for future smart poles; (ii) any lighting to be Smart lighting on smart poles in accordance with Council requirements to allow the lighting to be controlled to mitigate impacts on fauna with Council having the opportunity to install cameras or other fauna tracking instruments or like on the poles in the future; and (iii) any bins being 'smart bins' in accordance with Council requirements.	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. survey plan) for stage 3 of the development.
12.	Street Names	
A	Submit requests for the names of new street/s in accordance with Council's Policy 11-2150-038 Allocation of Road Names and Street Address Numbers or as amended;	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. survey plan) for each stage.
B	Obtain approval from Council for the names of new streets in accordance with (A) above;	
C	Erect approved street name boards on all new roads in accordance (A) and (B); and	
D	Mark all street names on the survey plans.	
13.	Development timing	
A	Develop the site generally in accordance with the stages identified on the approved plans. Any reference to Stage 3 and Stage 4 in these conditions is to be taken as a locational reference only, and not for timing. Development must comply with each condition of the development approval as it relates to each stage, unless otherwise stated in the condition.	At all times
B	Ensure any survey plan for Stage 3 or 4 of the development is lodged with the council for approval concurrently or after a survey plan for Stage 2 of the adjoining development to the east (DA/38356/2019/V2L) is lodged with the Council for approval.	
C	Ensure any survey plan for Stage 2A of the development is registered with the Titles office prior to lodging any survey plan for Stage 3 or 4 with the Council for approval.	

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14.	Infrastructure Agreement	
	<p>In accordance with Section 65(2)(c) of the <i>Planning Act 2016</i>, carry out development in accordance with, and comply with the obligations in, the executed 'Lot 2 and 54 Warner Road infrastructure Agreement 2020' between Moreton Bay Regional Council and Ausbuild Development Corp Pty Ltd.</p> <p>Any land required under the Infrastructure Agreement to be transferred to the Council, is to be transferred to the Council in fee simple on trust. The exception to this is land required to be dedicated as new road.</p>	<p>Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. a survey plan) for stage 3 or 4.</p>
15.	Vegetation Management Plan	
A	<p>Submit to and obtain approval from Council for a Vegetation Management Plan prepared in accordance with Council's Planning Scheme Policy - Environmental Areas and Corridors, section 6.8 and by a suitably qualified person. The plan must be prepared in accordance with AS4970-2009 - Protection of Trees on Development Sites and include scaled plans and supporting documentation that provides for, but is not limited to, the following:</p> <ul style="list-style-type: none"> (i) Identification of all vegetation and tree protection zones within and adjacent to the development site that may be impacted by the development and justification for treatment intent (remove ✕, retain ✓, prune p); (ii) Retention of all vegetation forming a wildlife corridor within the Environmental Management and Conservation Zone; (iii) Control measures, maintenance procedures and monitoring programs 	<p>Prior to works commencing.</p>
B	Obtain approval from Council for the Vegetation Management Plan in accordance with (A) above.	
C	Carry out works in accordance with the approved Vegetation Management Plan.	At all times.
16.	Disposal of Cleared Vegetation	
	<p>Chip, shred or tub grind cleared native vegetation and spread as mulch outside of any areas identified to be maintained as low fuel loads in an approved Bushfire Management Plan or dispose of at an authorised waste facility.</p> <p>Any hollows observed in cleared vegetation must be salvaged and installed as nest boxes in trees within the property or other location agreed with Council.</p>	At all times.
17.	Stockpiles of Construction and Landscaping Materials	
	Locate any stockpiles of construction and landscaping materials and other site debris clear of drainage lines, areas of vegetation required to be protected and clear of any position from which it could be washed onto any footpath, nature strip, roadway or into any drain, wetland or watercourse.	During site works.
18.	Bushfire Management Plan	
	Implement the requirements and recommendations of the approved Bushfire Management Plan.	At all times.
19.	Revegetation and Habitat Management Plan	
A	Submit to Council for approval a Revegetation and Habitat Management Plan. The plan must be prepared by a suitably qualified person and in accordance with section 9 of the Council's Planning	Prior to site works commencing.

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	<p>Scheme Policy - Environmental Areas and Corridors and be consistent with the approved Landscape Concept Plan.</p> <p>The Revegetation and Habitat Management Plan is to be developed for the Lots 1, 2 and 3 in Stage 2A and in accordance with the following:</p> <ul style="list-style-type: none"> (i) Planting densities and species selected are to be consistent with the relevant Regional Ecosystem in accordance with Section 9 of the Environmental Areas and Corridors Planning Scheme Policy. Technical Descriptions for Regional Ecosystems produced by the Queensland Government are to be used for determining densities and species selection. (ii) Where densities are unavailable for a particular Regional Ecosystem, a tree and shrub density of 4500 stems per ha (i.e. spaced at 1.5 m centres) would be acceptable. This density is recommended in the SEQ Restoration Framework Manual to facilitate a rapid canopy closure and reduce long-term maintenance. (iii) Provide detail on the establishment and maintenance of restoration sites regarding weed management; watering; and replacement planting. For example, provide details on thresholds for replacement planting (e.g. mortality rate and how regularly plants will be replaced). (iv) Inclusion of an obligation on the applicant to notify the Council in writing of when each stage of the revegetation works have been completed supported by evidence such as photographs, etc and on what date the applicant's obligations to commence maintenance of the revegetation has commenced. (v) Incorporating the recommendations of the approved Bushfire Management Plan in respect to bushfire related matters such as species selection. 	
B	<p>Ensure each area of revegetation is maintained for a minimum period of 5 years in accordance with section 9 of the Council's Planning Scheme Policy - Environmental Areas and Corridors and at the end of the 5 years delivers the outcomes approved in the Revegetation and Habitat Management Plan. Where it is proposed to transfer Lots 1, 2 and 3 in Stage 2A to the Council before the expiry of the 5 years maintenance period of each area of revegetation, the works are to be maintained by the applicant for the duration of the maintenance period in accordance with the approved Revegetation and Habitat Management Plan to achieve its stated outcomes. The maintenance is to be in accordance with the Council's Planning Scheme Policy - Operational works inspection, maintenance and bonding procedures with a security provided to the Council. If not stated in the policy, the security required as the maintenance bond is to have a monetary value equivalent to 5% of the agreed construction cost of the development work or \$2000.00, whichever is greater, and is to be in a form acceptable to Council. Guidance on what constitutes an appropriate form for security in this context is provided in Council's policy on the provision of financial securities.</p>	<p>Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. survey plan).</p>
C	<p>Provide a minimum of 9 nest boxes in proposed Lot 1 to compensate for the loss of three habitat trees.</p> <p>The Revegetation and Habitat Management Plan is to include a nest box management plan with details of the proposed construction, installation methods and GPS location for each nest box for Council's records. Provide details of proposed maintenance and protocols for replacing fallen or broken nest boxes and include any additional information that may be relevant such as:</p>	

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	<ul style="list-style-type: none"> (i) Requirements for the target species (ii) Nest box types - design and sizes (iii) Installation technique (iv) Proposed location of installed nest box (v) Maintenance regime details. <p>Nest boxes must be maintained by the applicant for a minimum of 12 months post installation and if necessary, included in any bonding under clause (B) above.</p>	
D	Provide a minimum of fifteen (15) Koala resting poles in the locations shown on the approved Landscape Concept Plan within proposed Lot 1 of Stage 2A to facilitate Koala movement and refuge. The Koala resting poles are to be installed in accordance with the Council's standard drawing GI-0510-Revision B, or as amended.	Prior to revegetation works commencing in proposed Lot 1 of Stage 2A and to be maintained during the establishment period of the revegetation required by other parts of this condition.
E	Implement the requirements of the approved plan.	During site works and to be maintained.
20.	Approved Wallum Froglet Species Management Plan	
	Provide evidence of a rehabilitation permit for tampering with Wallum Froglet Habitat, by way of a High-Risk Species Management Plan (SMP) approved by the Department of Environment and Science.	Prior to site works commencing
21.	Management of Wildlife	
A	Carry out approved vegetation clearing under the supervision of a Fauna Spotter Catcher holding a valid Rehabilitation Permit from the relevant State Government Agency.	Prior to and during site works.
B	<p>The fauna spotter is to ensure the following is undertaken:</p> <ul style="list-style-type: none"> (i) undertakes a wildlife load reduction measures through the pre-clearing trapping and relocation of wildlife 1-3 days prior to the approved clearing being conducted. Sequential clearing cannot be used as a primary fauna management measure as the remaining vegetation is insufficient to sustain the displaced fauna; (ii) at sites that support potential koala habitat (fodder/habitat trees) conducts a site inspection the night before and the morning that the clearing will commence to identify fauna species and fauna habitat, using binoculars or a spotting scope when observing trees larger than 4.0 metres tall; (iii) clearly marks (flag) vegetation found to contain fauna or fauna habitat (such as tree hollows, arboreal termite mounds, stick nests or possum drays with flagging tape), and visually and verbally communicate this information to the tree feller to ensure flagged trees are not felled until authorised by the fauna manager; and (iv) works in conjunction with a professional tree feller in the removal of any vegetation identified for removal. 	
C	<p>Vegetation and rubble piles are not left to serve as a refuge for displaced or roaming wildlife through the implementation of the following measures:</p> <ul style="list-style-type: none"> (i) immediately (within 12 hours) remove or destroy such materials; or (ii) old (>12 hours) piles of felled vegetation are treated as potential wildlife habitat and inspected by a fauna spotter catcher prior to removal or destruction. 	

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D	Habitat or hollow bearing trees are to be felled last and cleared using special plant and equipment aimed at reducing the risk of death or injury to occupying fauna.	
E	Preserve valuable habitat features such as large fallen logs, log piles, rock piles or outcrops wherever practicable through the translocation and re-establishment in coordination with the wildlife spotter. The replacement of natural tree hollows occurs through the replacement with artificial hollows at a rate of a species dependent, per ha rate to be determined based upon the size of the retention area. Replacements should be erected prior to the commencement of clearing works and placed within suitable habitat. If additional tree hollows are discovered and removed during clearing works replacements should be erected within 24 hours of hollow loss.	
22.	Temporary Exclusion Fencing	
	Delineate areas where vegetation is proposed to be retained with exclusion fencing to prevent accidental damage. Delineation and fencing is to be undertaken in accordance with Australian Standard 4970-2009 Protection of Trees on Development Sites.	While site works are occurring.
23.	Extent of Vegetation Clearing	
A	Undertake vegetation clearing only in accordance with the approved Vegetation Management Plan.	At all times.
B	Clearing of native vegetation must not; (i) Occur within adjoining premises, or (ii) Impact on the tree protection zone of vegetation within adjoining premises without the consent of the adjoining landowner affected by the clearing.	
24.	Green Infrastructure	
	Deliver the landscape and environmental outcomes shown in the approved Landscape Concept Package including: (i) Dog / koala exclusion fencing as shown on Page 113 in such a way that it minimises the threats to koalas and koala movement in existing and future habitat; and (ii) the provision of an elevated boardwalk connecting the residential development in proposed Lot 5 of Stage 2A to the Local Park in proposed Lot 2 within Stage 2A as shown on Page 105; (A) having a minimum width between railings of; (a) 3.0 metres, with the boardwalk being capable of being used by and carrying the weight of a standard 4x4 laden vehicle used by Council for maintenance purposes; or (b) 2.0 metres, with the boardwalk being capable of being used by and carrying the weight of pedestrians and cyclists when delivered concurrently with a separate maintenance vehicle track providing access through the Wallum Froglet Habitat Area from public road to Lot 2 of Stage 2A. Any separate maintenance vehicle track is to be of a width and standard that complies with Council's requirements for practical access to be available whenever required for maintenance purposes. (B) having a maximum grade compliant with the relevant Australian Standards for disabled access; and (C) be constructed using materials and finishes that are low maintenance, durable and resilient to environmental conditions in accordance with any Council standards and/or guidelines; and	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. survey plan) for Stage 3 or 4.

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	(iii) Signage at the southern end of the boardwalk advising that dogs are not permitted in Lot 2 within Stage 2A due to the presence of Koalas.	
25.	Water and/or Sewerage	
	Submit to Council a Certificate of Completion or Provisional Certificate of Completion (for each stage where there are stages) for the development from the Northern SEQ Distributor-Retailer Authority (Unitywater) confirming: (i) a reticulated water supply network connection is available to the land; and (ii) a sewerage network connection is available to the land; and (iii) all the requirements of Unitywater have been satisfied.	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. survey plan).
	Provide a water supply and sewerage network connection to each proposed park at a location approved by the Council in writing having regard to planned or future improvements / embellishments likely to be made to the park (e.g. Water bubblers).	
B	Implement the requirements of the approved plan.	
DEVELOPMENT ENGINEERING		
26.	Replace Existing Council Infrastructure	
	Replace existing Council infrastructure (including but not limited to street trees and footpaths) that is damaged as part of works carried out in association with the development to Council's standards.	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. a survey plan).
27.	Alterations and Relocation of Existing Services	
	Ensure any alteration or relocation in connection with or arising from the development to any service, installation, plant, equipment or other item belonging to or under the control of an entity engaged in the provision of public utility services is to be carried out with the development and at no cost to Council unless agreed to in writing by the Council.	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. a survey plan).
28.	Stormwater	
	Carry out the development to ensure that adjoining properties, reserves and roads are protected from ponding or nuisance from stormwater as a result of any works undertaken.	To be maintained at all times.
29.	Stormwater Management	
A	Submit and have approved by Council, a development application for operational works for stormwater infrastructure to service the development. Design drawings are to be prepared and certified by a suitably qualified Registered Professional Engineer Queensland (RPEQ) and in accordance with the approved plans and documents of development and the MBRC Planning Scheme current at the time of the operational works application.	Prior to commencement of works associated with this condition.
B	Construct stormwater infrastructure to service the development in accordance with the approved plans and documents of development.	Prior to submitting to the Council any request for approval

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	This condition has been imposed under sections 145 of the <i>Planning Act 2016</i> .	of a plan of subdivision (i.e. a survey plan).
C	<p>Provide registered easements in favour of Council over any drainage paths and drainage infrastructure within all new lot/s in accordance with the approved plans and documents of development.</p> <p>The easement documents must acknowledge the maintenance, repair and replacement responsibilities of the owner of this development site.</p> <p>Note: All easements are to be shown on plans submitted as part of operational works applications.</p>	
30.	Construction Vehicle Access	
	Ensure development construction vehicle access is limited to only Warner Road fronting the development via Coorparoo Road and South Pine Road only.	At all times during construction of the development.
31.	Earth Retaining Structures	
A	<p>Design all earth retaining structures within private land in accordance with Australian Standards, Building Code requirements and MBRC Planning scheme current the time of the operational works application and the following:</p> <ul style="list-style-type: none"> (i) The minimum design life (the period assumed in design for which a structure or structural element is required to perform its intended purpose without replacement or major structural repairs) for the earth retaining structure that is specified in Table 3.1 of Australian Standard AS4678; (ii) Earth retaining structures within the land and around areas of cut on or near the boundaries of the site must be designed to allow for live and dead loads associated with the land/premise's current occupancy use; (iii) Provide temporary safety fencing to all earth retaining structures over 1.0m in height. 	Prior to commencement of works associated with this condition.
B	<p>All retaining walls are required to adhere to the following further Qualifications unless otherwise approved by Council:</p> <ul style="list-style-type: none"> (i) The maximum single retaining wall on site is 2m. Any retaining wall which exceeds 1.5m in height is required to provide a corresponding and equal terrace step (i.e. 2m retaining wall requires a 2m terrace) unless otherwise agreed by Council in writing; and (ii) No retaining structures are to be constructed of boulder or timber. 	
C	<p>Submit and have approved by Council, a development application for operational works for all earth retaining structures.</p> <p>Design drawing are to be prepared and certified by a suitably qualified Registered Professional Engineer Queensland (RPEQ) and in accordance with the approved plans and documents of development and the MBRC Planning Scheme current at the time of the operational works application and they are to clearly show the location and overall configuration (fully dimensioned), design parameters and loads, materials and finishes of all earth retaining structures for the development.</p>	
D	Construct all earth retaining structures within private land in accordance with Australian Standards, Building Code requirements and approved plans and documents of development.	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. a survey plan).

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32.	Council Roads	
A	<p>Submit and have approved by Council, a development application for operational works for the following;</p> <ul style="list-style-type: none"> (i) All new internal roads as shown in the approved development plans and associated works as: <ul style="list-style-type: none"> (a) 18.5m wide road reserve (modified Contemporary Residential Road Reserve) - Local Collector, (b) 16.5m wide road reserve (modified Living Residential Road Reserve) - Local Access Street; and (c) 15.0m wide road reserve (modified Living Residential Road Reserve) fronting the parks area - Local Access Street (ii) Common access driveways servicing Lots 180 to 182 to the following requirement: <ul style="list-style-type: none"> (a) Rigid concrete pavement, minimum 5.5m wide; (b) Cater for the access requirements of a B85 design vehicle with a driveway crossover in accordance with MBRC Standard Drawing RS-049 and RS-050. (iii) Warner Road fronting the development to the following requirement: <ul style="list-style-type: none"> (a) A Contemporary Residential road (6.6 m vehicle zone) with on street parking (2.4 m) and kerb and channel to the northern side and 2.0 m wide total shoulder including a 1.0 m sealed shoulder to the southern side, (b) A concrete pathway on the northern side having consideration for the requirements of the mapped Secondary Active Transport Network, <p>Note: The upgrade works must be in consistent with the approved development works as in DA/42635/2020/V4D.</p> (iv) Temporary turn around facility demonstrating manoeuvring of the 12.5m long HRV vehicle at the end of the 16.5m wide New Road at below locations, <ul style="list-style-type: none"> (a) North of proposed Lot 117 & 177, and (b) West of proposed Lot 125 <p>Design drawings are to be prepared and certified by a suitably qualified Registered Professional Engineer Queensland (RPEQ) and in accordance with the approved plans and documents of development and the MBRC Planning Scheme current at the time of the operational works application.</p> 	<p>Prior to commencement of works associated with this condition.</p>
B	<p>Construct, at no cost to Council and in accordance with the approved plans and documents of development the following:</p> <ul style="list-style-type: none"> (i) All new roads and associated works (ii) All frontage roads and associated works <p>This condition has been imposed under section 145 of the <i>Planning Act 2016</i>.</p>	<p>Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. a survey plan).</p>
33.	Refuse Collection - Bin Pads	
A	<p>Provide concrete bin pads with a minimum dimension of 1m x 1m per bin for the following:</p> <ul style="list-style-type: none"> (i) 86, 89, 90 and 125 along 18.5m Wide New Road unless where road access provided via Lot 2 RP195936 and including any turnaround facilities (e.g. easements); and 	<p>Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. a survey plan).</p>

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	(ii) Lots 180, 181 and 182 along 16.5m Wide New Road. Construction is to be in accordance with the approved plans and documents of development. The final location is to be clear of parking bays, driveways and street trees; and accessible to a left loading 12.5 metre long HRV. Note: A property note will be included on Council's electronic property system alerting future owners that bin pads have been provided for their use.	
34.	Drainage Master Plan	
A	Submit and have approved by Council, a development application for operational works for any relevant drainage works in accordance with the approved Drainage Master Plan for the Drainage Investigation Area in Figure 8.2.2.11 approved under Development Approval DA/38356/2019/V2L for the adjoining land to the east. Design drawings are to be prepared and certified by a suitably qualified Registered Professional Engineer Queensland (RPEQ) and in accordance with the approved plan and documents of development and the MBRC Planning Scheme current at the time of the operational works application.	Prior to commencement of works associated with this condition.
B	Undertake the drainage works in accordance with the approved Drainage Master Plan and documents of development as they relate to the site. This condition has been imposed under section 145 of the <i>Planning Act 2016</i> .	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. a survey plan).
35.	Pathway	
A	Construct, at no cost to Council, reinforced concrete pathways as shown on the approved Pathway Hierarchy Plan. Works must neatly connect the pathways in Stages 1 and 2 of the adjoining development to the east. This must be provided with the bollards on both ends to stop any through vehicular movement. This condition has been imposed under section 145 of the <i>Planning Act 2016</i> .	Prior to submitting to the Council any request for approval of a plan of subdivision (i.e. a survey plan).

ADVICES	
1.	<i>Aboriginal Cultural Heritage Act 2003</i>
	<p>The <i>Aboriginal Cultural Heritage Act 2003</i> commenced in Queensland on April 16, 2004. The Act provides blanket protection of Aboriginal cultural heritage sites and places, including significant areas and objects, as well as archaeological remains. The Act also recognises that Aboriginal cultural heritage parties are key stakeholders in the assessment and management of Aboriginal cultural heritage.</p> <p>Under the Act, if a proposed activity involves disturbance of the ground surface, cultural heritage Duty of Care must be considered. This involves consideration of whether an activity is <i>likely</i> to harm Aboriginal cultural heritage. This may require involvement from the relevant Aboriginal cultural heritage party.</p>

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	<p>Cultural heritage Duty of Care compliance ultimately lies with the person or entity conducting the activity, and penalty provisions apply for failing to fulfil this Duty of Care.</p> <p>Council strongly advises that before undertaking the land use activity, you refer to the cultural heritage duty of care - Department of Aboriginal and Torres Strait Islander Partnerships (Queensland Government) for further information regarding the responsibilities of the developer.</p>
2.	<i>Environmental Protection Act 1994</i>
	It remains the duty of care of the person undertaking an activity not to cause Environmental Harm as defined under the <i>Environmental Protection Act 1994</i> .
3.	<i>Nature Conservation (Koala) Conservation Plan</i>
	<p>The premise is located in Koala District A. The Nature Conservation (Koala) Conservation Plan 2017 requires that the clearing of koala habitat trees in District A must be carried out as outlined in Part 3 of the plan including "Compliance with the sequential clearing conditions outlined in Section 10 of the plan".</p> <p>If in a Koala Habitat Area - Koala spotter needed for clearing, in a koala habitat area, koala habitat trees having a trunk of a diameter of more than 10cm at 1.3m above the ground.</p>
4.	<i>Nature Conservation (Wildlife Management) Regulation</i>
	In Queensland, the <i>Nature Conservation (Animals) Regulation 2020</i> , legislates that it is an offence to tamper with an animal breeding place that is being used by a protected animal to incubate or rear the animal's offspring. For any proposed activity that will impact on breeding places of protected animals that are classified as extinct, in the wild, endangered, vulnerable, near threatened (EVNT), special least concern, colonial breeder or least concern, a Species Management Plan (or Damage Mitigation Permit if the person removing or tampering holds a DMP for the relevant species) for that species will be required. Animal breeding places include obvious structures such as bird nests and tree hollows, as well as more cryptic places such as amphibian or reptile habitat where breeding takes place.
5.	<i>Biosecurity Act 2014</i>
	The Biosecurity Act 2014 commenced on 1 July 2016 and established a framework to regulate and control invasive plants and animals. Under the Biosecurity Act 2014, landowners are responsible for taking all reasonable and practical steps to minimise the risks associated with invasive plants and animals under their control. This obligation is known as the general biosecurity obligation (GBO).

PROPERTY NOTES	
1.	Bushfire Management
	<p>The following property note will be attached to Council's database for Lots 86 to Lot 187;</p> <p><i>"An approved Bushfire Management Plan applies to this lot. Any development on this lot must be in accordance with the approved Bushfire Management Plan and any conditions related to the approved plan.</i></p> <p><i>Further details can be found in the development permit creating the lot or the development approval for the use, and the associated Council report (Delegated or Council Meeting) or approval letter. This information is available through the PD Online facility on Council's website www.moretonbay.qld.gov.au."</i></p>
2.	DS07 Additional Development Requirements
	The following property note will be attached to Council's database for Lots 180-182:

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PROPERTY NOTES	
	<p><i>“Additional development requirements apply to this lot. Any development on this lot must be in accordance with the approved plan and associated conditions.</i></p> <p><i>Further details can be found in the development permit creating the lot or the development approval for the use, and the associated Council report (Delegated or Council Meeting) or approval letter. This information is available through the PD Online facility on Council's website www.moretonbay.qld.gov.au.”</i></p>

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Annexure D

Decision Notice information

	Details to Insert
Application Type	(a) Preliminary Approval for A Material Change of Use for Dwelling Houses, Home Based Business, Park and Sales Office (including a variation request to vary the effect of the MBRC Planning Scheme 2016); and AND (b) Reconfiguring a Lot - Development Permit for Subdivision (1 into 102 lots)
Relevant Period of Approval	Reconfiguring a Lot requiring or not requiring Works – 4 years Variation Approval – 6 years
Section 64(5) Deemed Approval	Not applicable
Superseded Planning Scheme	Not applicable
Variation approval affecting the Planning Scheme	Development resulting from this approval will be in accordance with the General Residential Zone - Next Generation Neighbourhood Precinct. The following Assessment Benchmarks apply to development on the land: <ul style="list-style-type: none">• General Residential Zone - Next Generation Neighbourhood Precinct Code; and• Dwelling House Code.
Other Necessary Permits	<ul style="list-style-type: none">• Operational Works – Development Permit• Building Works – Development Permit
Codes for Accepted Development	In accordance with the Table of Assessment for the corresponding zone and overlay.
Referral Agencies	There are no Referral Agencies
Submissions	There were 817 properly made submissions about this application.

#2 Engineering Services Report



Engineering Services Report

Warner – Development Application
for a Development Permit for a MCU

Warner Road, Warner

Ausbuild Development Corp Pty Ltd

20-0164ESR01-V2
February 2021

COMMERCIAL IN CONFIDENCE

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1	September 2020	Final Issue	RA	CO	RA
2	February 2021	RFI Response	RA	CO	RA

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APPENDICES

Appendix A	Concept Retaining Wall Heights Plan
Appendix B	Subdivision Plan
Appendix C	Stormwater Management Plan

1. INTRODUCTION

PEAKURBAN Pty Ltd has been engaged by Ausbuild Development Corp Pty Ltd (referred to as 'Ausbuild' herein) to prepare this Civil Engineering Services Report to support a proposed Reconfiguring of a Lot application for a residential subdivision situated at Lot 1 Warner Road, Warner (**Site**), within the Moreton Bay Regional Council (**MBRC**) local government area. The Site is on land described as Lot 1 on RP92508 and is shown in **Figure 1** below:



Figure 1: Site Location (Source: Nearmap. 2019)

This report covers the following civil infrastructure:

- ▶ Earthworks and Retaining Walls
- ▶ Sediment and Erosion Control
- ▶ Roadworks
- ▶ Sewerage Reticulation
- ▶ Water Supply
- ▶ Stormwater Quality and Quantity
- ▶ Utilities

This report concludes that the proposed development can be adequately serviced and comply with relevant servicing requirements of the MBRC Planning Scheme 2016 (**MBRC Planning Scheme**), Queensland Streets, Australian Standards and other relevant guidelines where appropriate.

2. PROPOSED DEVELOPMENT

This development application seeks:

- a) a development application for a preliminary approval for a material change of use for dwelling houses, home based business, sales office and park that includes a variation request to vary the effect of the Moreton Bay Regional Council (MBRC) Planning Scheme 2016; and,
- b) a development permit for reconfiguring a lot to create 102 residential lots, road and greenspace.

The proposed development can be identified by reference to:

- ▶ PEAKURBAN Subdivision Plan 18-0083-PP6, Amendment B dated 7 December 2020.

Copies of these plans are in **Appendix B**.

3. EARTHWORKS

The proposed development will involve civil earthworks to be carried out in accordance with standards and requirements identified in AS3798-2007.

Topsoil is to be stripped from the majority of the development area and reused on-site where possible. Any material requiring disposal from site will be disposed of at a MBRC approved location in a lawful manner with acceptable haul routes to be determined at the time of construction.

It is anticipated that larger cut areas will be required to the steeper areas of the Site. While the Site generally has an average slope of 4.0% from west to east, the steepest areas of the Site have an average slope of approximately 9%. There is a general average slope from west to east of approximately 3.5% culminating in a low point in the north-eastern and south-eastern boundaries of the Site. Therefore, greater cut depths are required in order to fill the lower portions of the Site to address the constraints of stormwater runoff and sewer servicing.

The proposed earthworks are outlined in **Appendix A** demonstrating how the steep topography is appropriately addressed through sound engineering practices.

Proposed retaining walls will be minimised as much as possible with isolated locations requiring higher walls (2.0m max in a single lift) to address the areas of steeper topography and stormwater management constraints. The proposed retaining walls are outlined in **Appendix A** demonstrating how they can be appropriately integrated into the design and addressed through sound engineering practices.

The bulk earthworks and retaining walls will be formalised through the detailed design at the operational works phase as necessary.

4. SEDIMENT AND EROSION CONTROL

Sediment and erosion control will generally be comprised of clean and dirty water diversion drains, temporary sediment basin as appropriate, silt fences, early stabilisation of disturbed areas where possible and other control measures as appropriate and/or required to meet MBRC's requirements.

Detailed design of the sediment and erosion control strategy will be submitted at the operational works/building application phase. The civil works undertaken by the contractor will implement a site based management plan to incorporate and achieve compliance with the sediment and erosion control strategy at the time of construction.

5. ROADWORKS

The proposed development is intended to be accessed via the existing formed roads around the perimeter of the Site being Warner Road and Coorparoo Road (south of Warner Road). After consulting with MBRC and the Traffic Consultant (Lambert & Rehbein), these roads are intended to be upgraded to the below standards:

- ▶ **Warner Road** – is intended to function as a contemporary residential street and will be designed to fit within the existing road reserve of 30m. Upgrade works as part of the development will include approx. 2.0m of widening on the northern side of Warner Road from the eastern edge of the development extending through to the western edge of the development where it will transition back to the existing pavement width. The total pavement width of Warner Road inclusive of the widening works will be 11.0m inclusive of a 2.0m wide shoulder (1.0m sealed) and table drains on the southern side of the road.
- ▶ **Coorparoo Road (south of Warner Road)** – the existing Coorparoo Road (south of Warner Road) is of an adequate standard to cater for the proposed development without upgrade and as such no works are proposed to it.
- ▶ **Pedestrian Connectivity** – to provide pedestrian and cyclist connectivity from the proposed development to the broader network, internal pedestrian facilities will be connected to an existing 2.5m wide shared path in Warner Road. An extension to the 2.5m wide shared path will be constructed for the development frontage only.

From an internal road perspective, the proposed development will be serviced from an efficient hierarchy of living residential streets. An integrated network of pedestrian pathways will underpin a high quality, highly connected community. Whilst some minor departure from MBRC's standard cross sections is proposed, the street network will be designed and implemented so as to ensure its intended function and performance, including movement and the provision of service corridors for sewerage, water, electrical and communications, is not compromised. The primary modification proposed is a reduction of the verge between the footpath and the kerb on the contemporary residential and living residential streets from 2m to 1.5m in some locations. On the contemporary residential street, the parking lane has been removed and an additional 0.5m reduced from the verge. In terms of street trees, the project landscape architect, Saunders Havill have confirmed that 1.5m between the kerb and footpath is sufficient to support healthy and successful tree growth. Their advice is as follows:

'1.5m between the kerb and footpath is considered sufficient space to support healthy and successful street tree growth. As per MBRC standard tree detail a setback of 900mm from kerb to tree is achievable. Final tree species selection will ensure species with upright and non-invasive growing habits will be selected. Additionally, throughout the developer maintenance period, formative pruning will be ongoing to ensure sufficient clear-trunk and to ensure sightlines are not negatively impacted. This distance set-back has been implemented on a number of recent developments.'

As a result of this change, the overall road reserve reduces on the contemporary residential road from 19.5m wide to 18.5m wide and the living residential road reserve from 17m wide to 16.5m wide. This is permitted in the MBRC Planning Scheme 2016. Details of an integrated street network will be provided with subsequent applications.

Additionally, the roadworks will include provisions for transport and parking to achieve the requirements outlined in MBRC's Planning Scheme 2016 with specific regard to on street carparking and the movement of waste collection vehicles around the Site. A minimum of

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8m kerb to kerb pavement width will be adopted in accordance with the scheme requirements.

All roads will be designed to achieve equitable access to all dwellings and allow sufficient width for turfed verges which will provide service corridors for sewerage, water, electrical and telecommunications.

Based on demonstrating a highly integrated, highly connected street network, modified road reserve widths are proposed. These cross sections show how services and footpaths integrate to achieve the intended performance outcome. It is noted the minimum kerb to kerb width of 8m in accordance with the MBRC Planning Scheme is retained.

Road pavement designs will be prepared and provided to MBRC where appropriate and based on CBR results taken throughout the course of construction.

6. SEWERAGE RETICULATION

The proposed development is located outside the Priority Infrastructure Area of the MBRC local government area with Unitywater (**UW**) being the responsible water authority. The proposed development comprises residential lots as shown on the drawings in **Appendix B**.

The proposed development is intended to be serviced by new gravity sewer lines connecting the proposed development to the existing sewer located within the adjacent proposed development on Lot 2 on RP195936.

The wastewater load from the proposed development is calculated below in accordance with the SEQ Water Supply and Sewerage Design and Construction Code.

Table 1: Preliminary Wastewater Demand Calculations

Development Land Use	Yield	Demand Rate	Demand
Residential Dwelling	102	2.9 EPS / Dwelling [#]	295.8 EPS
Riparian Reserve	0	0 EPS	0 EPS
Open Space	0	0 EPS	0 EPS
Contingency (10%)			29.58 EPS
Total			325.38 EPS

[#] In accordance with the Superseded Pine Rivers Planning Scheme Policy

The capacity of the existing sewerage network has been established in consultation with Unitywater, which confirmed that sufficient capacity is available/will be made available for this proposed development.

The proposed sewerage reticulation network will be formalised through detailed design at the operational works/building application phase with the relevant SEQ Water authority (Unitywater).

It is noted that the developer intends to deliver sewer infrastructure consistent with previous planning undertaken by Unitywater and is subject to further negotiations with Unitywater at the time of detailed design.

7. WATER SUPPLY

The proposed development is located outside the Priority Infrastructure Area of the MBRC local government area with UW being the responsible water authority. The proposed development comprises residential lots as shown on the drawings in **Appendix B**.

The proposed development is intended to be serviced by the existing water mains in close proximity to the Site and located within the existing Warner Road/Coorparoo Road reserves. The preliminary water servicing strategy consists of a DN250 extension from the eastern boundary of the Site to the western boundary of the Site within Warner Road. This extension connects to the existing DN250 trunk water main delivered with the adjacent proposed development located on Lot 2 on RP195936. A connection to this main will be made and new water mains constructed within the proposed development.

The current water service level is RL39.0m and the majority of the proposed lots are located below this level. Lots above this level will be serviced via a connection to the water main in Whimbrel Street.

The water demand for the proposed development is calculated below in accordance with the SEQ Water Supply and Sewerage Design and Construction Code.

Table 2: Preliminary Water Demand Calculations

Development Land Use	Yield	Demand Rate	Demand
Residential Dwelling	102	2.9 EPW / Dwelling [#]	295.8 EPW
Riparian Reserve	0	0 EPW	0 EPW
Open Space	0	0 EPW	0 EPW
Contingency (10%)			29.58 EPW
Total			488.07 EPW

[#] In accordance with the Superseded Pine Rivers Planning Scheme Policy

The proposed water supply network will be formalised through detailed design at the operational works/building application phase with the relevant SEQ Water authority (UW).

8. STORMWATER MANAGEMENT PLAN - QUALITY AND QUANTITY

The proposed development will achieve no-worsening of the upstream and downstream waterways through the implementation of a stormwater management strategy. The following brief summary is provided in relation to the results of this assessment:

- ▶ The proposed development will not result in offsite adverse flooding impacts.
- ▶ The hydraulic analysis supports a no detention strategy for the Site.
- ▶ No water level increases are noted external to the proposed development i.e. no adverse impact.
- ▶ Warner Road adjacent to the Site is 1% AEP immune in all modelled scenarios.
- ▶ Stormwater runoff from external land parcels can be adequately conveyed through the proposed development without adverse impacts.

Stormwater quality objectives will be met as required by the MBRC Planning Scheme and State Planning Policy (SPP). Specifically, the water quality objectives for post development will be satisfied through the implementation of best practice end of line stormwater quality bio-filtration basins. These will be adequately sized to effectively mitigate the pollutant loads generated from the Site to the SPP pollutant load reduction targets.

These bioretention basins will be located along the fringe of the adjacent proposed development located on Lot 2 on RP195936, within the Riparian Reserve and will be positioned above the Q100. The basins will not be located in areas susceptible to erosion and scour and do not increase the footprint of the previously planned basin sizes i.e. no change to the rehabilitation of the Riparian Reserve completed with the adjacent development.

With respect to overland flow, the Site encompasses a portion of Conflagration Tributary. It is proposed to maintain the passage of flows through the Site via the retention of the natural flow path/drainage features and revegetated. These flows will be conveyed to Conflagration Creek through the adjacent proposed development on Lot 2 on RP195936 via an open drainage channel that caters for the full Q100 external catchment. This intent will be outlined in an updated Drainage Investigation Area Master Plan.

A Stormwater Quality Management Plan will be prepared at the time of Operational Works and include MUSIC modelling to confirm bioretention basin sizing for this development.

9. UTILITIES

The Site will be serviced with electrical and telecommunication reticulation with agreements entered into with the relevant service providers. Adequate service corridors will be provided to enable service connection with designs being undertaken in accordance with a suitably qualified electrical consultant at the operational works/building application phases necessary.

10. CONCLUSION

This report is accompanied by the relevant concept engineering drawings and supporting documentation to demonstrate that the proposed development can be adequately serviced in accordance with MBRC's standards and guidelines.

We therefore request MBRC give approval to the engineering components of the proposed development subject to reasonable and relevant conditions.



APPENDICES

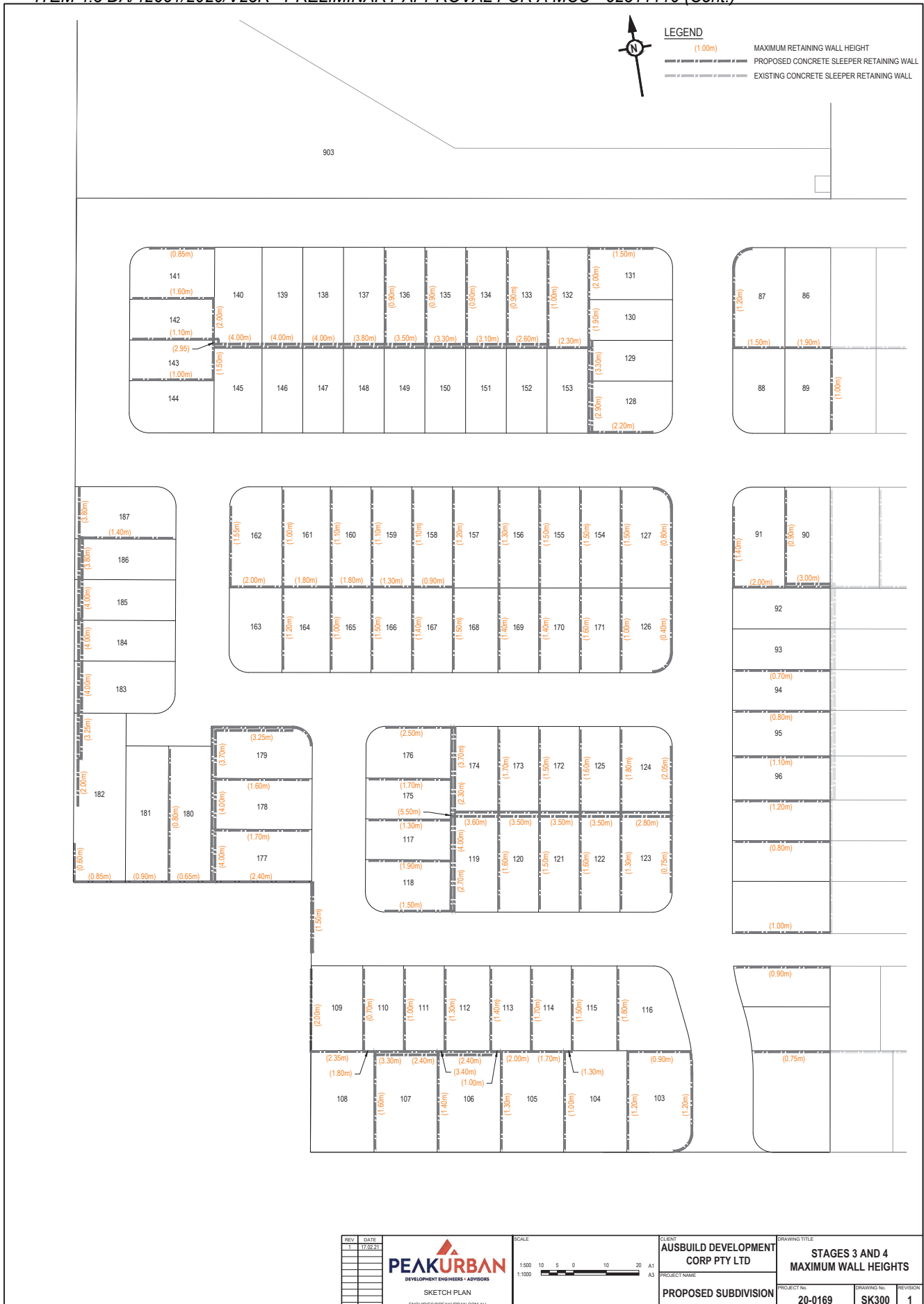
Appendix A Concept Retaining Wall Heights Plan

Moreton Bay Regional Council

GENERAL MEETING - 534
21 July 2021

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Supporting Information

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

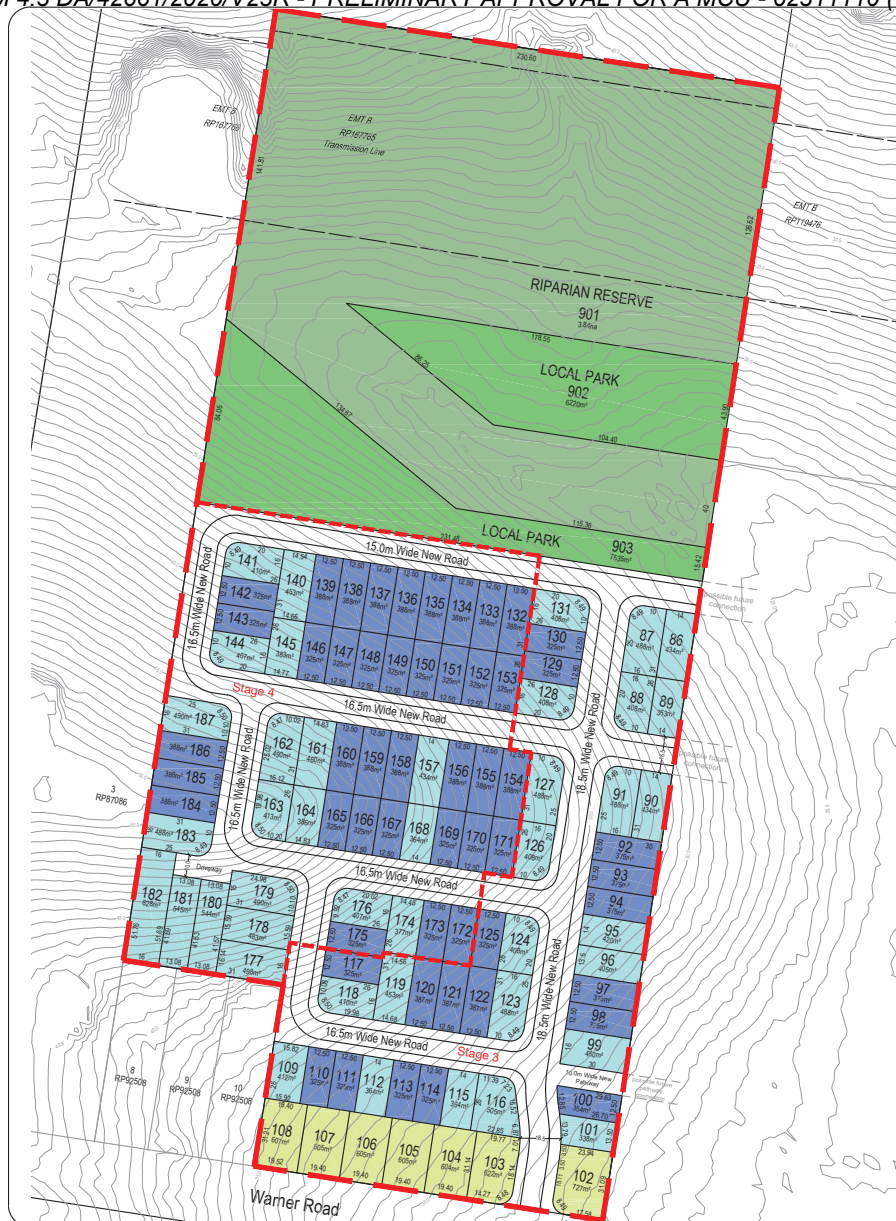


GENERAL MEETING - 534
21 July 2021

Supporting Information

Appendix B Subdivision Plan

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)



LEGEND

Subject Property boundary	---
Possible Stage boundary	---
Indicative Riparian Reserve	---
Indicative Local Park	---

DEVELOPMENT SUMMARY - LOTS

Total number of Residential lots	102
Total number of Riparian Reserve lots	1
Total number of Local park lots	2
Total number of lots	105

DEVELOPMENT SUMMARY - LAND USE

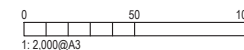
Total Site area	11.4ha
Approx. area of Residential lots	4.19ha
Approx. area of Local park	1.38ha
Approx. area of Riparian Reserve	3.84ha
Approx. area of new road	1.99ha

NET RESIDENTIAL DENSITY

Total no. of proposed Residential lots	102
Total area (excluding Riparian Reserve lot)	7.56ha
Approx. net residential density	13.49du/ha

YIELD SUMMARY

MBRC Lot Type	Lot Frontage	Number of Lots	%
Type A	7.5m	0	0.0%
Type B	>7.5m-10m	0	0.0%
Type C	>10m-12.5m	53	52.0%
Type D	>12.5m-18m	42	41.2%
Type E	>18.0m-32.0m	7	6.9%
Type F	32.0m+	0	0.0%
Total		102	100%



CLIENT
Ausbuild Development
Corp Pty Ltd

PROJECT
SUBDIVISION PLAN

Warner Road, Warner

1/RP92508

AMENDMENTS	DATE
A Original	07/12/20
B	
C	
D	
E	
F	
G	
DESIGNED KS	DATE 07/12/20
SURVEYED	DATE
DRAWN KS	DATE 07/12/20

NOTES

CONTOUR INTERVAL = 1m

Cadastral Boundaries:
DCDB © State of Queensland (Department of
Natural Resources and Mines) 2016.

This note is an integral part of this plan. This
plan may not be reproduced without this note.

This plan was prepared for a Development
Application. This plan should not be used for
any other purposes.

This plan remains subject to, but not limited to,
authority approval, detail design and final
survey.

The total number of lots shown on this plan is
approximate only.

No relevance should be placed on the
information on this plan for any financial
dealings involving the land.

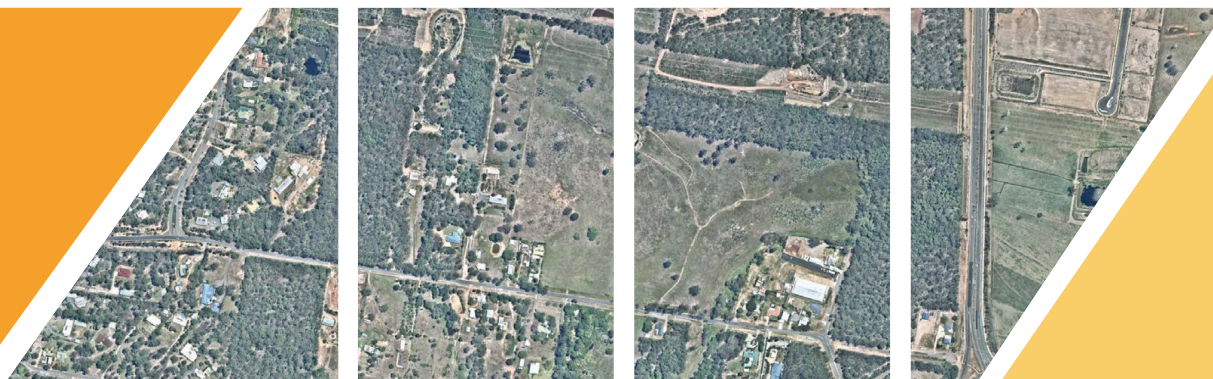
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SHEET NO...	1 OF 1 ...SHEETS
COMPUTER FILE	18-0083-PP6-B
SCALE	1:2,000 @ A3
DRAWING No	18-0083-PP6
AMEND	B

Appendix C Stormwater Management Plan

WARNER ROAD

LOT 1 ON RP92508 WARNER ROAD, WARNER



**saunders
havill
group**



LANDSCAPE CONCEPT PACKAGE | June 2021 | 9513 G

This development application seeks: (a) a preliminary approval for a material change of use for dwelling houses, home based business, sales office and park that includes a variation request to vary the effect of the Moreton Bay Regional Council (MBRC) Planning Scheme 2016; and (b) a development permit for reconfiguring a lot to create 102 residential lots, road and greenspace. Given that the intent of the material change of use is demonstrated by the reconfiguring a lot which provides certainty about the intended development, this report only specifically considers the reconfiguring a lot aspect of the proposed development. However, the analyses undertaken and conclusions reached in this report, will also apply to the material change of use aspect of the proposed development. This landscape package aims to illustrate proposed landscape treatments and strategies to support the proposed development.

For further details in relation to environmental corridors and offset strategy, refer to 28 South and for further information regarding stormwater and layout strategies, refer to Peak Urban.

This Concept Package depicts the broad landscape intent for the proposed development and aims to illustrate proposed landscape treatments and strategies including proposed pedestrian connections, uses and arrangement of formal and informal recreation opportunities and embellishments. Overall, the landscape intent seeks to provide a recreational environment that balances passive and active recreation uses while harmoniously co-existing and visually interacting with the riparian reserve. Additionally, the landscape intent seeks to safely and effectively cater for stormwater requirements, environmental goals and bushfire considerations. All details are intended to be fully resolved at a future detailed design phase in conjunction with

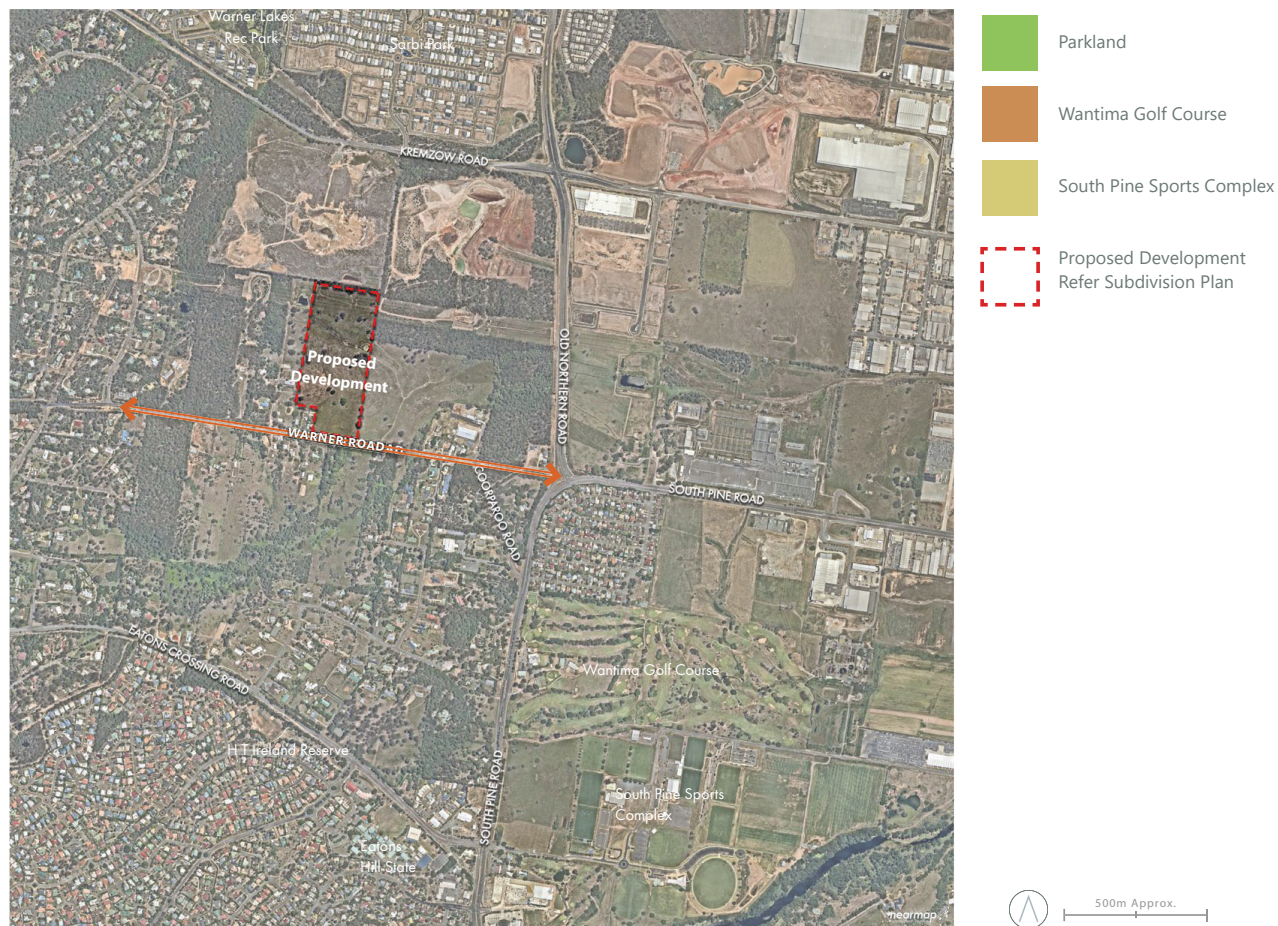
ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)



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- 103 Site Open Space Context Plan
- 104 Overall Masterplan
- 105 Local Recreation Park Intent
- 106 Riparian Reserve, Park & Powerlink Interface
- 107 Park & Riparian Reserve Interface
- 108 Park & Western Boundary Interface
- 109 Pedestrian Linkage Plan
- 110 Street Tree Intent Plan
- 111 Streetscape Typology Sections - Sheet 1
- 112 Streetscape Typology Sections - Sheet 2
- 113 Overall Fence Layout Plan
- 114 Typical Lot Fence Layout Plan
- 115 Imagery

SITE OPEN SPACE CONTEXT PLAN





OVERALL MASTERPLAN

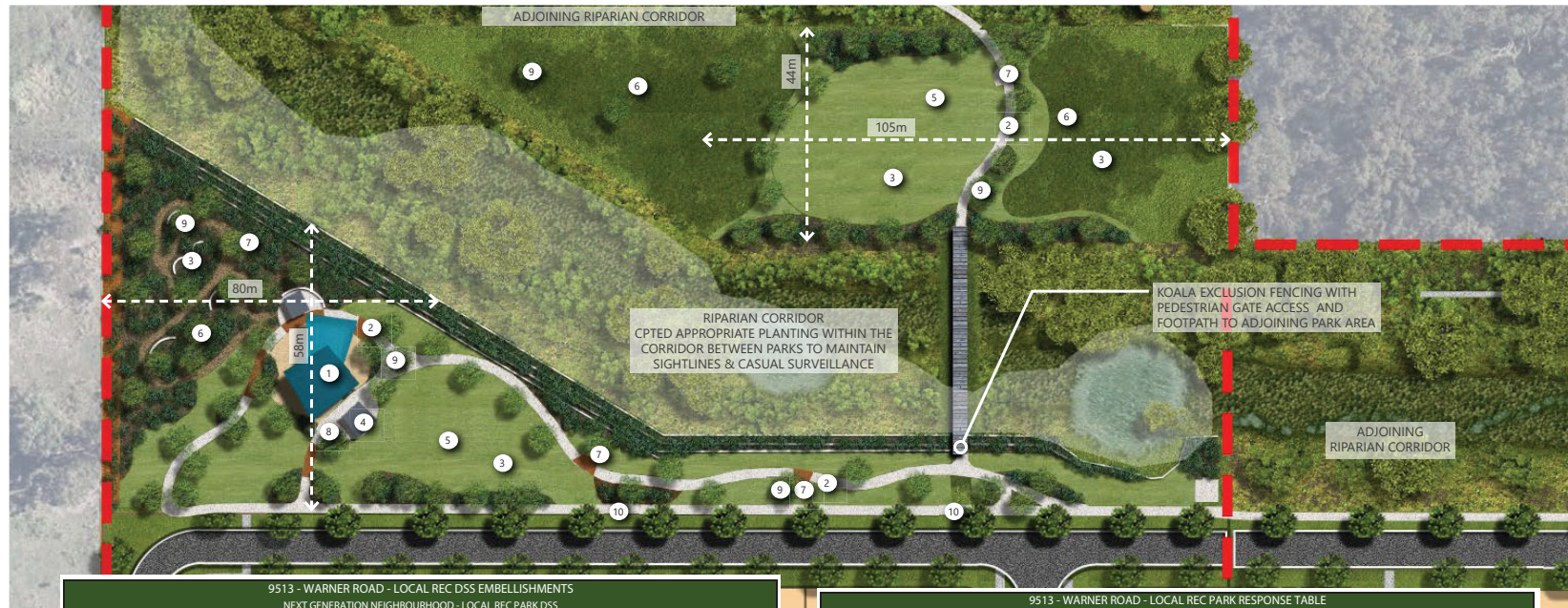
LEGEND

1. ADVANCED STREET TREES:
Planting to road reserve in front of lots
2. INDICATIVE PEDESTRIAN FOOTPATH
Footpath width and hierarchy - refer p108 for Pedestrian Linkage Plan
3. PEDESTRIAN CONNECTION
Bollards provided at end of driveway with pedestrian connection link
4. SHARED PATHWAY TO WARNER ROAD
Bike and pedestrian - Refer p108 for Pedestrian Linkage Plan
5. ENTRY FEATURE
Indicative location of entry wall/feature on private lot and feature planting
6. LOTS FRONTING WARNER ROAD
7. FEATURE KOALA EXCLUSION FENCING
1.8m high feature Koala anti-climb fence to interface between the proposed development and riparian reserve - Refer p112 for Overall Fence Layout Plan
8. SECONDARY KOALA EXCLUSION FENCING
1.8m High Koala exclusion fencing or similar approved koala exclusion fencing to interface between the proposed development and adjacent properties to the west (final design subject to neighbours agreement) - Refer p112 for Overall Fence Layout Plan
9. INDICATIVE LOT AREAS
Refer Subdivision Plan for current lot layout
1.8m High Butted timber paling Koala exclusion fencing to the frontage of all lots facing a road - Refer p112 for Typical Lot Fence Layout Plan
10. RIPARIAN RESERVE
Full tiered revegetation outcome - Disturbed areas to be rehabilitated to remnant RE. 12.3.5 & 12.3.11. Weed management, existing native species retention, assisted regeneration and infill revegetation planting
In accordance with stormwater, bushfire management and ecology requirements
11. REVEGETATED OVERLAND FLOW PATH & RETAINED WALLUM FROGLET HABITAT
Revegetated overland flow drainage swale within Riparian Reserve (RE as above with focus on lower slope variants)
Utilise ground cover and low shrub species with scattered clumps of trees/ and larger shrubs to allow for sightlines/ CPTED casual surveillance between the park areas.
12. POWERLINE EASEMENT
Slashed grass and powerline friendly planting and koala refuge poles to provide supplementary koala movement habitat along and across the easement
Refer Ecology report for relevant species, densities and planting requirements and in accordance with bushfire requirements
13. LOCAL RECREATION PARK
Refer p105 for Embellishments and additional details
14. KOALA REFUGE POLES



ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

LOCAL RECREATION PARK INTENT



9513 - WARNER ROAD - LOCAL REC DSS EMBELLISHMENTS NEXT GENERATION NEIGHBOURHOOD - LOCAL REC PARK DSS				
No.	Embellishment type	Required under the DSS		Notes
		YES	NO	
1	Play Areas	✓		Range of equipment & settings suitable for broad age group
2	Cycling & walking opportunities (connecting pathways)	✓		1.5-2m Width pathways for cycling and walking within park and to connect to external network
3	Multi-use activity spaces	✓		Range of equipment & settings suitable for broad age group and multiple uses/ activities.
4	Picnic areas (Shelter and picnic setting)	✓		Shelter with outdoor picnic setting furniture under - made of robust materials
5	Kick-a-bout spaces	✓		Turf kick-a-bout for recreation use
6	Passive recreation nodes	✓		Informal recreation nodes throughout park aligned with and adjacent to other embellishments and features throughout park.
7	Seating Opportunities	✓		Park benches at key features and vantage points under shade throughout park.
8	Drinking fountains (tap/bubbler)	✓		Disability access compliant drinking fountain with vandal-proof tap
9	Shade Trees	-	-	Along all paths, frontages and main use areas
10	Vehicle Protection Barrier	-	-	High kerbs with trees to create natural barrier or bollards along boundary between road and park frontage.

9513 - WARNER ROAD - LOCAL REC PARK RESPONSE TABLE NEXT GENERATION NEIGHBOURHOOD - LOCAL REC PARK DSS		
LR DSS Item	MBRC LR Requirement	Notes/ Demonstration of GIA Outcomes
Accessibility Standards	400mm Accessibility standard	Complies with 400m access radius to all lots to proposed development footprint
Rate of Land Provision	Provision target 1ha/1000 people Min Land .5 ha	Complies - combined park area is 13,755m ²
PUBLIC PARK DESIGN REQUIREMENTS		
Width to Depth ratio	0.5	Complies - average width to depth ratio in the proposed park is approx 0.57
Min width	20m	Generally complies - a minor portion remains under 20m width, however the majority of park (area greater than the required land provision) is compliant with the min. 20m dimension.
Min road frontage	40%	Given the planning and environmental restrictions, the min. road frontage does not achieve 40%. Future road connection to the west will increase the percentage of road frontage.
Road type	Collector or lower	Complies - refer Civil/ planning for road hierarchy
No. access points	1	Complies - access along 1 connected road
Flood immunity	100% of land above 2% AEP	Complies - 100% park above Q50



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**UPDATED
BUSHFIRE HAZARD ASSESSMENT
AND MITIGATION PLAN**

**FOR

THE PROPOSED DEVELOPMENT
OVER
LOT 1 RP92508
WARNER ROAD
WARNER**

**PREPARED BY

BUSHLAND PROTECTION SYSTEMS**

**COMMISSIONED BY

AUSBUILD DEVELOPMENT CORP P/L**

DATE: 18th February, 2021.

1. Background

A Bushfire Mitigation Plan is designed to identify and minimise the potential bushfire risk to a given property and to help property owners to minimise bushfire risk to themselves, their property and their neighbours, although it will not completely eliminate that risk. Ultimately it is a community responsibility to protect the environmental values, life, and property in their area.

This plan is for a development application for a preliminary approval for a material change of use for dwelling houses, home based business, sales office and park that includes a variation request to vary the effect of the Moreton Bay Regional Council (MBRC) Planning Scheme 2016 and a development permit for reconfiguring a lot to create 102 residential lots, road and greenspace, as shown in Appendix 1A of this report (Subject Site).

This plan is based on the following material supplied by Ausbuild Development Corp P/L.

- 1.1. The Subdivision Plan, drawn by Peak Urban, Drawing No. 18-0083-PP6, Amendment B, dated 7/12/20, is included as Appendix 1A in this report.
- 1.2. Bushfire Hazard Overlay Plan, drawn by Peak Urban, Drawing No. 18-0083-PG23, Amendment A, dated 23/9/20, is included as Appendix 1B in this report.
- 1.3. Bushfire Attack Levels Plan, drawn by Peak Urban, Drawing No. 18-0083-PG25, Amendment B, dated 17/12/20, is included as Appendix 1C in this report.

This plan is produced in accordance with the Moreton Bay Regional Council (MBRC) Planning Scheme 2016, Section 9.4.1.6.3 Reconfiguring a Lot Code, Next Generation Neighbourhood Precinct and SC6.4 – *Bushfire Prone Areas*, based on the State Planning Policy 7/17, under the Planning Act 2016.

2. Site Description and Assessment

The subject site currently consists of open grass paddocks with some scattered trees. In the proposed residential area, the slope is up to 10% with a northeast to southeast aspect. In the northern end of the property is a powerline easement which has a slope of up to 11% with a south aspect sloping back down towards the proposed residential area. The property would currently be assigned a Vegetation Hazard Class (VHC) of 40.4 with associated fuel loads of up to 5t/Ha, over a slope of up to 1-6 degrees with a Forest Fire Danger Index FFDI of 56, providing for a potential fire line intensity of up to 930-1313kw/m equating to a 'Not Bushfire Prone Area' hazard rating.

Post development, the proposed residential areas would be assigned a VHC 42.6 with associated fuel loads of up to 2t/Ha, over a slope of up to 6 degrees with an FFDI of 56, providing for a potential fire line intensity of up to 210kw/m equating to a 'Not Bushfire Prone Area' hazard rating.

There will be a perimeter roadway to the north of the proposed allotments which then adjoins a local park. The local park is a managed area providing a Low hazard rating.

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

Lot 1 RP92508, Warner Road, Warner.

18th February, 2021.

The open space areas in the north, including the swale corridor between the two active park areas, shown as 'Riparian Reserve' in Appendix 1A & 1C, will consist of revegetated bushland in addition to proposed low plantings within the power line easement area. The rehabilitated environmental corridor and powerline easement will pose a bushland exposure which will be assessable for bushfire. The vegetation will predominantly resemble an RE 12.3.11 with some scattered melaleuca from RE 12.3.5 away from housing areas. The effective bushland would be assigned a VHC 16.1 with associated fuel loads at maturity of up to 16t/Ha, upslope with an FFDI of 56, providing for a potential fire line intensity of up to 7,666kW/m equating to a 'Medium' hazard rating, shown in Appendix 1B.

To the northeast of Lot 86 will be a corridor of open space that then adjoins a corridor of vegetation to the north on Lot 3 SP174984, that then adjoins a powerline easement. The bushland revegetation in the open space areas will reflect RE 12.3.11, and therefore would be assigned a VHC 16.1 with associated fuel loads at maturity of up to 16t/Ha, upslope with an FFDI of 56, providing for a potential fire line intensity of up to 7,666kW/m equating to a 'Medium' hazard rating. The bushland on Lot 3 SP174984 further north is mapped as RE 12.9-10.7 and therefore would be assigned a VHC 9.2 with associated fuel loads of up to 17.2t/Ha, upslope with an FFDI of 56, providing for a potential fire line intensity of up to 8,898kW/m equating to a 'Medium' hazard rating.

To the west, adjoining Lot 3 RP87086 is a well-managed grassland property with some scattered trees that would be assigned a 'Not Bushfire Prone Area' hazard rating. West of this allotment is existing Lot 11 RP817266 which has bushland over the rear 245 metres of the site which adjoins further corridors and patches. Lot 3 RP87086 provides a separation of 80 metres from the bushland on Lot 11 RP817266. The bushland in the rear of Lot 11 is upslope of the subject property, is mapped as RE 12.9-10.17, and therefore would be assigned a VHC 9.2 with associated fuel loads at maturity of up to 17.2t/Ha, upslope with an FFDI of 56, providing for a potential fire line intensity of up to 10,272kw/m equating to a 'Medium' hazard rating.

To the south are predominantly managed allotments with a 'Not Bushfire Prone Area' hazard rating, on the opposite side of Warner Road. To the east is Lot 2 RP195936 which consists of open grazed grassland and is earmarked for development. The property would currently be assigned a VHC 40.4 with associated fuel loads of up to 5t/Ha, over a slope of up to 1-8 degrees with an FFDI of 56, providing for a potential fire line intensity of up to 930-1507kw/m equating to a 'Not Bushfire Prone Area' hazard rating.

The predominate bushland exposures to the proposed residential allotments are the open space to the north and northeast, upslope of the proposed development area, along with a distant exposure to the northwest in the rear of Lot 11 RP817266.

Table 1: Bushfire Ratings

POTENTIAL HAZARD CLASS	POTENTIAL FIRELINE INTENSITY
Not Bushfire Prone Area (Low)	<4,000 kw/m
Medium	4,000 to 20,000 kw/m
High	20,000 to 40,000 kw/m
Very High	>40,000 kw/m

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

Lot 1 RP92508, Warner Road, Warner.

18th February, 2021.

The Bushfire Hazard Mapping also incorporates a 100 metre Potential Impact Buffer meaning that any land within 100 metres of a Potential Bushfire Hazard is also assigned the same rating as that bushland and triggers the Bushfire Code if Medium, High or Very High. Whilst having the same distance for all three levels of hazard is not considered a fit for purpose application, it is unfortunately what is legislated at this current time. Therefore, dwellings on proposed Lots 86-89, 128-143 & 145-153 would be assigned a Hazard rating whilst the remaining residential lots would be assigned a Low/No hazard rating.

3. Roads and Driveways

Warner Road is predominantly lined by managed allotments with only small exposures to pockets or corridors of vegetation. It is considered unlikely that access/egress for the site would be denied due to bushfire.

The main access to the estate is located in a 'Not Bushfire Prone Area'. Perimeter roads are provided with regular interval roads moving away from bushland areas. The road network provides connectivity to proposed development to the east. Access/egress is considered unlikely to be compromised by bushfire.

Being a residential estate, the allotments will have short direct driveways. With the proposed road network there is ample access for fire service vehicles for fire suppression and hazard reduction opportunities.

4. Appropriate Building Site Location

The bushland exposures are upslope to the north, northeast, and west without steep hills, ridgelines or north to west facing steep slopes.

E31(c) of the Reconfiguring a Lot Code, Rural Residential Zone (constraint code) requires a minimum separation from bushland of 20 metres or the distance required to achieve a Bushfire Attack Level (BAL) whichever is the greater. The constraint code doesn't state which BAL; however, it is assumed that this refers to a BAL-29 which is the level State Government and most Councils are treating as a tolerable risk level. In the circumstances of the subject site, a 9 metre separation would achieve a BAL-29 rating under AS3959-2018 Construction of Buildings in Bushfire Prone Areas (AS3959-2018). Therefore 20 metres being the greater will be the required separation.

Lot 86 is to have a minimum 5 metre building setback from the northeast corner of the lot so when combined with the 15 metre roadway, a total of 20 metres separation is provided from the bushland to the northeast.

Allotments along the western boundary have over 80 metres separation from the bushland to the west.

It is considered that the roadways, buffers, and setbacks mentioned above achieves a tolerable risk level in regard to E31(c) of the constraint code.

5. Appropriate Clearing and Landscaping

Residential allotments are to be maintained with low ground fuel levels at all times and may include domestic gardens, lawns with grass kept under 100mm in height and scattered trees with discontinuous canopy.

As a guide to landscaping and gardening in a bushfire prone area, the document 'Landscaping for Bushfire' produced by the CFA Victoria, is a useful guide on plant selection, garden design and ongoing maintenance. It can be found at <https://www.cfa.vic.gov.au/plan-prepare/landscaping>.

All road reserves are to be managed to their full widths with low ground fuel levels at all times (grass kept under 100mm).

The local parks (Lots 902 & 903) are to be managed areas equivalent to an outer Asset Protection Zone (APZ), maintaining a Low bushfire hazard rating.

Fibrous bark trees, such as melaleuca, swamp mahogany and stringy bark, have a tendency to increase ember attack during a bushfire, due to the fire running up the tree trunk and burning bark breaking off, creating large quantities of airborne burning embers. Ribbon bark tree species (trees that shed their bark in long strips) are also an issue, significantly increasing the potential for spot fires. For this reason, tree species with these bark types should not be used as revegetation/rehabilitation/regeneration plantings in urban interface areas.

In bushland areas, the areas around the fringes of the bushland and along fire trails have a tendency to have increased ground fuel loading, as a result of increased sunlight penetration producing better growing conditions for grass and weeds (known as 'Edge Effects'), which can have an adverse impact on the local ecosystem and safety issues for fire suppression personnel during unplanned fire events. These non-endemic grasses penetrate into the edges of the retained bushland, creating conditions for high intensity fire which damages the edges of the bushland, opening up the canopy which then allows more sunlight in and promotes grass and weed intrusion further into the bushland. This cyclic process has the effect of decreasing the size of quality bushland and increasing grass and weed dominated areas. The most cost effective way to control grass and weed growth is to create a good closed in canopy cover, which will shade out the undesirable species. The control of fuel loads along the edges by regular mowing, brush cutting or in some cases poisoning may be suitable. Areas with a build-up of volatile fuel levels along the open edges of bushland, where full sunlight is available, can be where the most damage is inflicted on the bushland during a bushfire.

All previous or future cleared timber and foliage or accumulated rubbish would need to be removed from the site or mulched and not simply moved aside as this would result in a concentrated area of fuel loading which would increase the PBH from that direction.

If the development is to take place in stages, care should be exercised to ensure the developed stages are not threatened by bushfire from the undeveloped stages. For optimal bushfire safety and best practise, the required vegetation management practises for allotments must be established during operational works and maintained by the developer until sold. Once sold the purchaser must maintain the allotment at all times, before, during and after construction of the dwelling.

6. Appropriate Building Construction

The bushfire provisions of the National Construction Code (NCC) are applied to Class 1, 2 & 3 buildings, and associated Class 10a buildings, located in designated bushfire prone areas. "Designated bushfire prone area means land which has been designated under a power in legislation as being subject, or likely to be subject, to bushfires" (NCC Schedule 3 Definitions).

The Council Planning Scheme's Table 1.6.1 identifies Very high potential bushfire intensity, High potential bushfire intensity, Medium potential bushfire intensity and Potential impact buffer on the Bushfire Hazard Areas Overlay Map as the 'designated bushfire hazard area' for the purposes of section 12 of the Building Regulation 2006, except on land in the Centre zone, General residential zone, Industry zone or Township zone.

Dwellings on the proposed allotments within 100 metres of the Medium rated bushland, being Lots 86-89, 128-143 & 145-153, require the NCC and where relevant the AS3959 to be addressed.

P2.7.5 of the NCC requires:- A Class 1 building or a Class 10a building or deck associated with a Class 1 building that is constructed in a designated bushfire prone area must, to the degree necessary, be designed and constructed to reduce the risk of ignition from a bushfire, appropriate to the –

- (a) Potential for ignition caused by burning embers, radiant heat or flame generated by a bushfire; and
- (b) Intensity of the bushfire attack on the building.

Section 3.10.5.0 (Qld variation) of the NCC is the deemed-to-satisfy provision and states: -

- (a) Subject to (b), Performance Requirement P.2.7.5 is satisfied for—
 - (i) a Class 1 building; or
 - (ii) a Class 10a building or deck associated with a Class 1 building, located in a designated bushfire prone area if it is constructed in accordance with—
 - (iii) AS 3959; or
 - (iv) NASH Standard – Steel Framed Construction in Bushfire Areas.

- (b) The requirements of (a) do not apply when, in accordance with AS 3959, the classified vegetation is Group F rainforest (excluding wet sclerophyll forest types), mangrove communities and grasslands under 300 mm high.

Where a Performance Solution is proposed, the relevant Performance Requirements must be determined in accordance with Sections A2.2(3) and A2.4(3) of the NCC as applicable. Section V2.7.2 of the NCC is a means to verify the appropriate risk of ignition from a bushfire in order to meet the requirement of P2.7.5. For further guidance refer to the Buildings in Bushfire Prone Area Verification Method Handbook available from the Australian Building Code Board.

These levels of construction are reliant on the proposed vegetation management and recommendations of this report being implemented and maintained.

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

Lot 1 RP92508, Warner Road, Warner.

18th February, 2021.

6.1. Lots 86-89, 128-143 & 145-153

The future dwellings on proposed Lots 86-89, 128-143 & 145-153 are within 100 metres of the bushland upslope, with a minimum 20 metre separation.

In accordance with AS3959-2018 – Table 2.4.5 ‘*Determination of Bushfire Attack Level (BAL)-FDI 40 (1090K)*’, the vegetation class is woodland, distance from unmanaged vegetation is between 19 and 100 metres and slope is upslope, which equates to a BAL-12.5 Bushfire Attack Level for the proposed dwellings.

6.2. Remaining Lots

Dwellings on the remaining allotments are over 100 metres from the Medium rated bushland and are therefore assigned a Low/No hazard rating.

A site with a Low/No PBH rating does not require assessment under the Building Code of Australia or under the Australian Standard (AS3959-2018) for *Construction of Buildings in Bushfire Prone Areas* and therefore no specific level of construction would be required in relation to bushfire.

7. Provision of Adequate Water Supplies

The area of the proposed development is to be serviced by reticulated water supplies with the inclusion of fire hydrants for firefighting purposes. These services are to comply with the relevant standards as required by the local authorities, including a minimum pressure and flow of 10 litres per second at 200kPa.

8. Provision of Fire Fighting Infrastructure

Buildings should have external taps and hoses that are positioned so water supply is capable of reaching to all parts of the building. All water lines are to be covered by at least 300mm of soil. Residents should maintain good access around the buildings for fire suppression activities by fire authorities.

9. Local Fire Brigades

The subject site is currently in the Urban Fire & Rescue district and they would respond to a 000 emergency call.

10. Improved Community Awareness

Managing ground fuel in small pockets of bushland at the interface between urban development and bushland (Izone) is the easiest way of reducing bushfire hazard, particularly the removal of non-endemic grass and weeds.

It is recommended that a copy of the fire management plan be placed on display at any sales office, and a copy of the plan including the information in Appendix 2 be given to the purchasers of lots with a hazard rating to provide them with the necessary information required for the building application process.

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

Lot 1 RP92508, Warner Road, Warner.

18th February, 2021.

A copy of the plan should be retained by residents and passed on to future residents including the information in Appendix 2 on “being prepared” to assist them in minimising the risk of bushfire damage. It is recommended that regular liaison with the local fire brigade takes place as a way of being informed of danger periods. It is recommended that residents with a hazard rating prepare a ‘Bushfire Survival Plan’, a template for which is available from the Rural Fire Service Queensland website at www.ruralfire.qld.gov.au. The ‘Bushfire Survival Plan’ document provides information on Bushfire Danger Ratings, Community Warning Information, how to prepare your property, what to do in the event of a bushfire and what to expect. The Bushfire Survival Plan should be updated annually. Further information is also available through the Prepare•Act•Survive brochure also available on the Rural Fire Service website. For further information contact your local Fire Brigade for assistance or phone 1300 369 003.

11. Summary of Recommendations

- The future dwelling on Lot 86 is to have a minimum 5 metre building setback from the northeast corner of the lot.
- Residential allotments are to be maintained with low ground fuel levels at all times and may include domestic gardens, lawns with grass kept under 100mm in height and scattered trees with discontinuous canopy.
- All road reserves are to be managed to their full widths with low ground fuel levels at all times (grass kept under 100mm).
- The local parks (Lots 902 & 903) are to be managed areas equivalent to an outer Asset Protection Zone (APZ), maintain a Low bushfire hazard rating.
- Fibrous bark trees, such as melaleuca, swamp mahogany and stringy bark, have a tendency to increase ember attack during a bushfire, due to the fire running up the tree trunk and burning bark breaking off, creating large quantities of airborne burning embers. Ribbon bark tree species (trees that shed their bark in long strips) are also an issue, significantly increasing the potential for spot fires. For this reason, tree species with these bark types should not be used as revegetation/rehabilitation/regeneration plantings in urban interface areas.
- If the development is to take place in stages, care should be exercised to ensure the developed stages are not threatened by bushfire from the undeveloped stages.
- All previous or future cleared timber and foliage or accumulated rubbish would need to be removed from the site or mulched and not simply moved aside as this would result in a concentrated area of fuel loading which would increase the PBH from that direction.
- For optimal bushfire safety and best practise, the required vegetation management practises for allotments must be established during operational works and maintained by the developer until sold. Once sold the purchaser must maintain the allotment at all times, before, during and after construction of the dwelling.

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

Lot 1 RP92508, Warner Road, Warner.

18th February, 2021.

- Buildings should have external taps and hoses that are positioned so water supply is capable of reaching to all parts of the building. All water lines are to be covered by at least 300mm of soil. Residents should maintain good access around the buildings for fire suppression activities by fire authorities.
- Dwellings are to be constructed in accordance with AS3959-2018 as outlined in Section 6 of this report.
- It is recommended that a copy of the fire management plan be placed on display at any sales office, and a copy of the plan including the information in Appendix 2 be given to the purchasers of lots with a hazard rating to provide them with the necessary information required for the building application process.
- A copy of the plan should be retained by residents and passed on to future residents including the information in Appendix 2 on “being prepared” to assist them in minimising the risk of bushfire damage. It is recommended that regular liaison with the local fire brigade takes place as a way of being informed of danger periods.
- It is recommended that residents with a hazard rating prepare a ‘Bushfire Survival Plan’, a template for which is available from the Rural Fire Service Queensland website at www.ruralfire.qld.gov.au.

12. Conclusion

With the appropriate setbacks and buffers, adequate water supply, good access provisions and minimisation of ground fuels; the risk of bushfire damage can be managed and the safety of residents and fire services in attending to a bushfire threat can be improved.

All buildings can achieve a 12.5kW/m² radiant heat flux (BAL-12.5) or less when assessed under AS3959-2018 (see Section 6 of this report) and are therefore considered to be at a tolerable risk level.

This plan remains current for a period of 5 years, until 2025, at which time it should be subject to review to take account of changing land use and vegetation patterns. Any major bushfire event affecting the subject site should also trigger a review in order to determine effectiveness of protection measures and annual hazard reduction initiatives.

Ultimately, persons living in a bushfire prone area must take the precautions necessary to protect themselves, their families, and their homes if Brigades are stretched and are unable to attend immediately.

If you require any further assistance, please do not hesitate to contact this office.

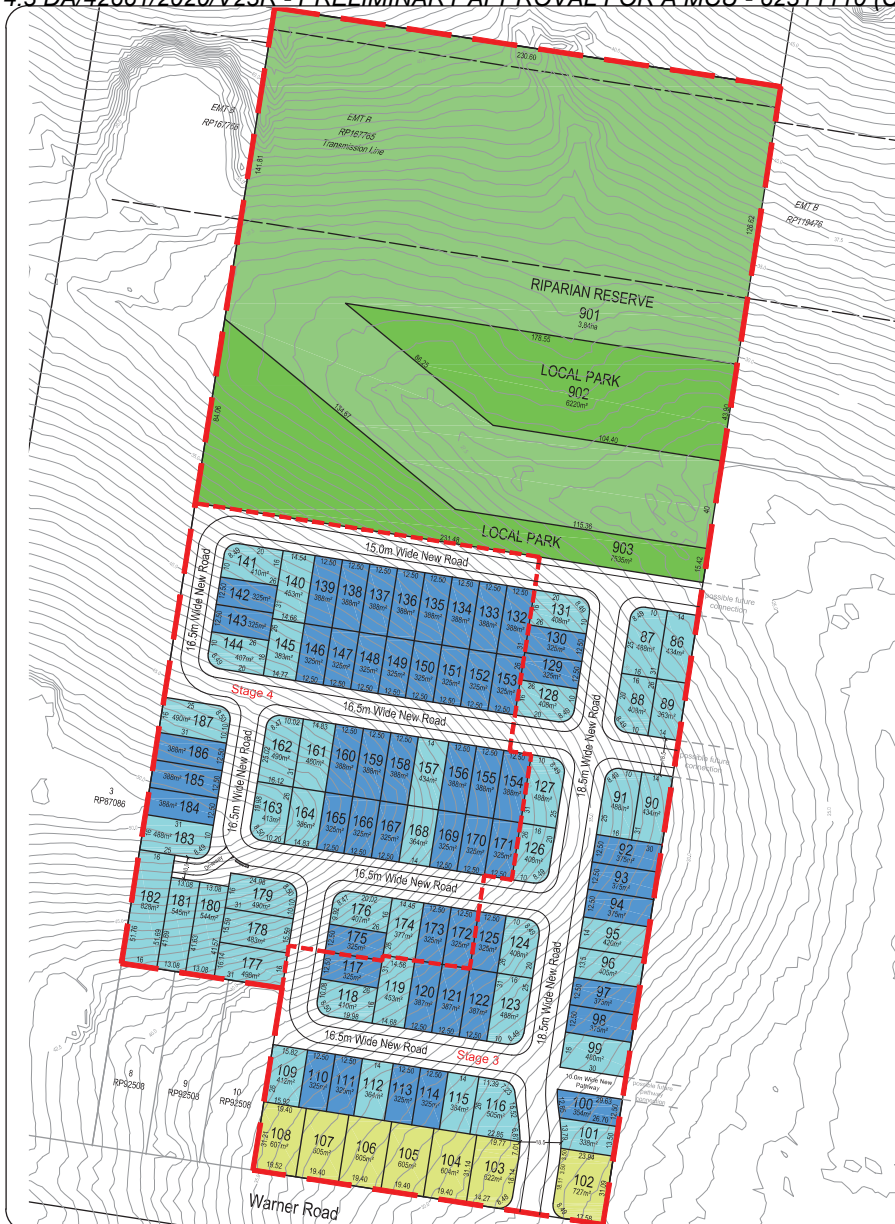


Brett Bain, MDIA, MRFAQ
Lead Bushfire Consultant.

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Approved Subject to Conditions of Decision Notice DA/42661/2021/V23R

08/02/2021



LEGEND

Subject Property boundary	
Possible Stage boundary	
Indicative Riparian Reserve	
Indicative Local Park	
Bin Pads	

DEVELOPMENT SUMMARY - LOTS

Total number of Residential lots	102
Total number of Riparian Reserve lots	1
Total number of Local park lots	2
Total number of lots	105

DEVELOPMENT SUMMARY - LAND USE

Total Site area	11.4ha
Approx. area of Residential lots	4.19ha
Approx. area of Local park	1.38ha
Approx. area of Riparian Reserve	3.84ha
Approx. area of new road	1.99ha

NET RESIDENTIAL DENSITY

Total no. of proposed Residential lots	102
Total area (excluding Riparian Reserve lot)	7.56ha
Approx. net residential density	13.49du/ha

YIELD SUMMARY

MBRC Lot Type	Lot Frontage	Number of Lots	%
Type A	7.5m	0	0.0%
Type B	>7.5m-10m	0	0.0%
Type C	>10m-12.5m	53	52.0%
Type D	>12.5m-18m	42	41.2%
Type E	>18.0m-32.0m	7	6.9%
Type F	32.0m+	0	0.0%
Total		102	100%



CLIENT
Ausbuild Development
Corp Pty Ltd

PROJECT
SUBDIVISION PLAN

Warner Road, Warner

1/RP92508

AMENDMENTS	DATE
A Original	28/08/20
B Amend Layout	07/12/20
C	
D	
E	
F	
G	

DESIGNED KS	DATE 07/12/20
SURVEYED	DATE
DRAWN KS	DATE 07/12/20

NOTES

CONTOUR INTERVAL = 1m
Cadastral Boundaries:
DCDB © State of Queensland (Department of
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This plan was prepared for a Development
Application. This plan should not be used for
any other purposes.

This plan remains subject to, but not limited to,
authority approval, detail design and final
survey.

The total number of lots shown on this plan
approximate only.

No relevance should be placed on the
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dealings involving the land.

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SHEET NO... 1 OF 1 ...SHEETS

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DRAWING No

18-0083-PP6

AMEND
B

Appendix 1A

Moreton Bay Regional Council

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08/02/2021



CLIENT
Ausbuild Development
Corp Pty Ltd

PROJECT
Bushfire Hazard Overlay Map
OM-68 BFH + OM-69 BFH
specific for
Lot 1 RP92508

AMENDMENTS	DATE
A Original	23/09/20
B	
C	
D	
E	
F	
G	

DESIGNED KS DATE 23/09/20

SURVEYED DATE

DRAWN KS DATE 23/09/20

NOTES

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AMEND A

Appendix 1B

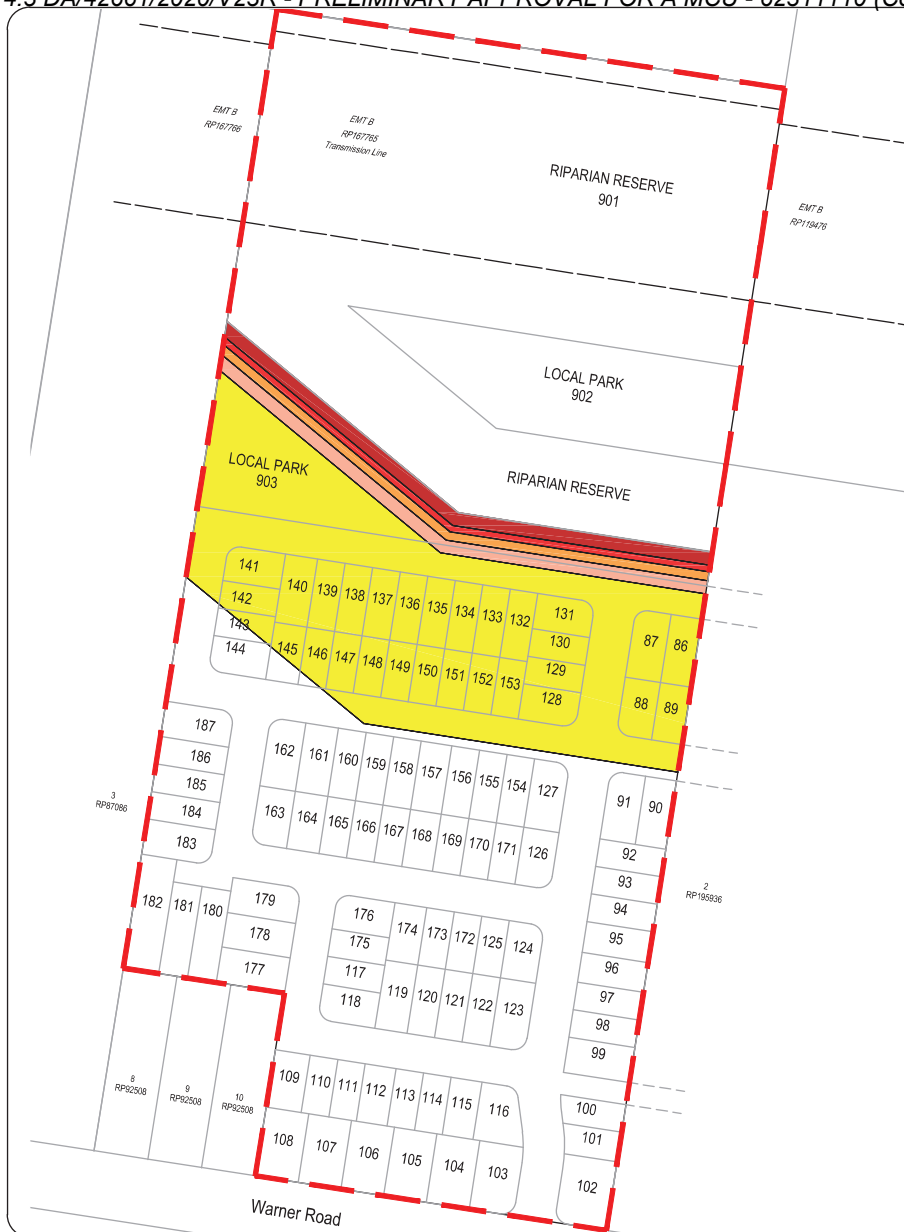
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08/02/2021



LEGEND

Site Boundary	
>6.0m=BAL-FZ	
6.0m-9.0m=BAL-40	
9.0m-13.0m=BAL-29	
13.0m-19.0m=BAL-19	
19.0m-100.0m=BAL-12.5	



CLIENT
Ausbuild Development
Corp Pty Ltd

PROJECT
BUSHFIRE ATTACK
LEVELS PLAN

Warner Road, Warner
1/RP92508

AMENDMENTS	DATE
A Original	06/10/20
B Amend Layout	17/12/20
C	
D	
E	
F	
G	

DESIGNED KS	DATE 17/12/20
SURVEYED	DATE
DRAWN KS	DATE 17/12/20

NOTES

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DRAWING No 18-0083-PG25
AMEND B

Appendix 1C

APPENDIX 2

Being Prepared

Knowing how to prepare your property for bush fire, both pre-fire and during a fire, can assist in protecting people and property. It can also alleviate a lot of the stress and panic and the feeling of helplessness that is commonly felt by the inexperienced and by the ill-prepared.

It is generally accepted that South East Queensland does not experience the same degree of extreme fire conditions as the southern states of New South Wales, Victoria and South Australia. Having said this it is also accepted that this State's bushland experiences a relatively regular fire regime. From time to time conditions may occur that will institute a serious and potentially destructive fire. These conditions can be recognised and precautions taken. It must be remembered that during extreme fire conditions the fire services may be stretched to the limit and may not be able to respond immediately to your particular emergency. Fire trucks and fire fighters are a limited resource so it is important that they are deployed in an appropriate manner to best manage the fire. The Queensland Fire and Rescue Service do not guarantee a fire truck will be available to defend every structure during a large bushfire. So it would be desirable to be as prepared and self-reliant as possible to protect yourself, your family and your assets. It is not difficult if appropriate preparation is undertaken and the following information is provided to be of some assistance.

1. Conditions that may lead to a Serious Fire:

- 1.1. Higher than average air temperatures for prolonged periods.
- 1.2. Large and very dry fuel loads.
- 1.3. Prolonged dry spell with little or no rain resulting in low soil moisture content.
- 1.4. Very low relative humidity, ie. there is very little moisture in the air.
- 1.5. Strong and gusty winds, usually from the north through to the west contribute to increased fire hazard. The longer these winds continue the drier the conditions become, and the higher the risk of serious fire.

Observation of local weather conditions past and present will give the best indication of the potential intensity of a fire at any given time or place.

Notification of potential bushfire conditions are available from the Queensland Rural Fire Service and Local Brigades, in the form of Fire Danger Ratings often seen on roadside signs, Advice Messages, Watch and Act Messages and Emergency Warnings. More information on these information sources, where to find them and what they mean, is available on the Rural Fire Service Website www.ruralfire.qld.gov.au or through the local Fire Brigade.

2. Basic Fire Behaviour.

Having some idea of what a fire is likely to do in your local area, will help you make the right decisions and give you the confidence to deal with an approaching fire if necessary. Following are some basic fire behaviours.

- 2.1. Fire will travel faster and hotter uphill. The steeper the slope the faster the rate of spread, in some cases allowing little time to react. The speed of a fire will double for every 10 degrees of upslope.
- 2.2. Fire will usually travel relatively slower down hill even with reasonably high fuel loads, which will give more time to prepare. The speed of a fire will halve for every 10 degrees of down slope.
- 2.3. A fire will generally travel faster and at higher intensities with a wind behind it. The stronger the wind, the faster the rate of spread. Likewise a fire will slow considerably when burning against the wind in some cases it may even go out.
- 2.4. The fire will usually burn at a higher intensity and spread faster during the hottest times of the day and tend to slow down considerably as the evening approaches and air temperatures drop.
- 2.5. The greater the supply of dry ground fuel available to the fire, ie. grass, dry leaf litter, hanging bark and twigs, the greater the intensity of the fire. If the ground fuel is minimised the intensity of the fire reduces considerably and so does the personal risk and the potential for damage.
- 2.6. If ground fuels are kept relatively low the chances of a fire progressing into the treetops (crown fire) would be considerably reduced within the Queensland coastal bushlands. For a fire to progress into the tree tops ground fuels and elevated fuels must be present providing a 'ladder' of fuels from ground level to tree top. Control of these fuels is the best way of minimising fire intensity and therefore limiting the destructiveness of a bushfire.

Talk to neighbours that have been present during previous bushfires or consult the local Fire Brigade to develop an understanding of usual fire behaviour for your specific location.

3. Preparing for the bushfire season.

Most cases of damage to property are caused by radiated heat, direct flame contact or most commonly by burning debris or sparks landing in, on, or around buildings and starting small spot fires which if not attended to may destroy the property long after a fire front has passed. There are many steps that should be taken prior to the onset of a fire season to help protect your property.

- 3.1. Keep ground fuel cleared from around buildings such as long dry grass, branches, dead leaves, bark and thick undergrowth.
- 3.2. Remove elevated fuels, such as hanging bark and fallen debris hung up on lower branches.

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Lot 1 RP92508, Warner Road, Warner.

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- 3.3. Ensure fire breaks/trails/buffers are checked and maintained, even a well-watered lawn can be an effective firebreak.
- 3.4. Flammable material around buildings should be kept well clear, such as firewood piles, rubbish, fuels, hazardous materials, plant pots, boxes, paper, patio and garden furniture.
- 3.5. Ensure flammable materials are not stored in open areas under the building.
- 3.6. Make sure that rainwater gutters are kept clear of leaf litter build-up. Consider a method of blocking off down pipes so gutters can be filled with water during a fire to extinguish sparks landing in gutters. There are commercially made products available or you can create your own.
- 3.7. Make sure that the roofing is well secured, as winds created during a fire may lift roofing and allow the entry of burning embers into the roof space. Also clear any leaf litter or debris build-up from roof areas.
- 3.8. All windows and vents should be screened with fine wire mesh and all roof areas closed in to prevent entry by sparks.
- 3.9. Ensure gas tanks have their emergency relief valves facing away from the building (this includes barbeque bottles).
- 3.10. Make sure of reserve water supplies. Power frequently fails during a fire. If petrol or diesel pumps are available make sure they and associated hoses and fittings are in good working order.
- 3.11. Ensure your bushfire survival kit is up to date and complete.

The Queensland Fire and Rescue Service provide detailed lists for preparation prior to fire season and what to do during a bushfire event. This information can be found at www.ruralfire.qld.gov.au or obtained from your local fire brigade.

4. Green Fire Breaks

Added protection from bushfire can be achieved by establishing green fire breaks which include green lawns, trees arranged to create a shield to catch sparks or fire brands or the expanding of tropical rainforest species. Excess rainwater or tertiary treated waste water could be stored and used for this purpose during dry periods to maintain the green fire breaks. Trees and shrubs not subject to drought stress will cope better during bushfires. The higher the moisture content in the plant the slower it burns. Therefore by keeping the surrounding area green and low in dry ground fuel, the intensity of an approaching fire will be reduced and the risk of spot fires minimised.

5. Personal Protection

- 5.1. If you plan to evacuate, make sure you do so early, long before the fire front arrives. Evacuating at the very last moment results in the majority of deaths at bushfires. People remaining to fight the fire need to be physically and mentally fit to do so.

5.2. Those staying to protect the property should make sure they protect themselves from radiant heat, flying embers, smoke and most importantly heat stress.

Protection measures should include the following:

- Long trousers and long sleeve shirt made of wool, denim or cotton (no synthetics)
- Woollen socks and sturdy work boots for foot protection
- Goggles for eye protection
- A good pair of work gloves to protect hands from burns
- A smoke mask or a damp cloth (non-synthetic), to cover your nose and mouth to protect you from inhaling smoke and embers.
- Have plenty of drinking water available to protect against dehydration (not refrigerated as this can cause cramping).

5.3. During the fire

When a fire is approaching and given that you have already carried out your pre-fire precautions, established adequate buffers, implemented mitigation measures and established the degree of risk to your property, protection from the actual fire should be relatively straight forward.

5.3.1. Dress in the appropriate clothing and be sure to drink water regularly.

5.3.2. Fill up bathtubs, sinks, buckets, laundry tubs etc. in case of blackouts.

5.3.3. Close doors and windows.

5.3.4. Close gaps under doors and windows with wet towels.

5.3.5. Block up down pipes, wet down roof, walls and gardens, paying particular attention to the side the fire is approaching from.

5.3.6. Have a battery-powered radio on hand to listen for information about the fire's progress from local radio stations.

5.3.7. Patrol your property while the fire is approaching and take shelter inside as the fire front passes. Then continue patrolling the property for many hours after it has passed, to ensure that any spot fires or smouldering debris do not get a chance to develop into a major fire, paying particular attention to the roof cavity of your buildings. Smouldering embers have been known to start fires hours or even days after the initial passing of the bushfire front.

The Queensland Fire and Rescue Service provide detailed lists for preparation prior to the arrival of a bushfire and what to do during a bushfire event. This information can be found at www.ruralfire.qld.gov.au or obtained from your local fire brigade.

6. Further Information?

The local fire brigade is a good source of local district knowledge, they also have pamphlets and literature produced by the Queensland Fire and Rescue Service available. Most brigades will also be happy to advise local residents.

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The information provided above is only a basic guide. Further and more details information is available from the Queensland Fire and Rescue Service. It would be recommended that residents in bushfire prone areas prepare a 'Bushfire Survival Plan', which is available from the Queensland Rural Fire Service website at www.ruralfire.qld.gov.au. The 'Bushfire Survival Plan' document provides information on Bushfire Danger Ratings, Community Warning Information, how to prepare your property, what to do in the event of a bushfire and what to expect. The Bushfire Survival Plan should be updated annually. Further information is also available through the Prepare•Act•Survive brochure also available on the Rural Fire Service website. For further information contact your local Fire Brigade for assistance or phone 1300 369 003.

APPENDIX 3

Performance outcomes	Examples that achieve aspects of the Performance Outcomes	E Compliance – Yes – No See PO or – NA	Justification for compliance
<p style="text-align: center;">Values and constraints criteria</p> <p>Note – The relevant values and constraints criteria do not apply where the development is consistent with a current Development permit for Reconfiguring a lot or Material change of use or Operational work, where that approval has considered and addressed (e.g. through a development footprint plan (or similar in the case of Landslide hazard) or conditions of approval) the identified value or constraint under this planning scheme.</p>			
<p>Bushfire hazard (refer Overlay map – Bushfire hazard to determine if the following assessment criteria apply)</p> <p>Note – The preparation of a bushfire management plan in accordance with Planning scheme policy – Bushfire prone areas can assist in demonstrating compliance with the following performance criteria. The identification of a development footprint will assist in demonstrating compliance with the following performance criteria.</p>			
<p>PO62</p> <p>Lots are designed to:</p> <ol style="list-style-type: none"> minimise the risk from bushfire hazard to each lot and provide the safest possible siting for buildings and structures; limit the possible spread paths of bushfire within the reconfiguring; achieve sufficient separation distance between development and hazardous vegetation to minimise the risk to future buildings and structures during bushfire events; maintain the required level of functionality for emergency services and uses during and immediately after a natural hazard event. 	<p>E62</p> <p>Reconfiguring a lot ensures that all new lots are of an appropriate size, shape and layout to allow for the siting of future buildings being located:</p> <ol style="list-style-type: none"> within an appropriate development footprint; within the lowest hazard locations on a lot; to achieve minimum separation between development or development footprint and any source of bushfire hazard of 20m or the distance required to achieve a Bushfire Attack Level BAL (as identified under AS3959-2009), whichever is the greater; to achieve a minimum separation between development or development footprint and any retained vegetation strips or small areas of vegetation of 10m or the distance required to achieve a Bushfire Attack Level BAL (as identified under AS3959-2009), whichever is the 	<p>YES</p>	<p>The allotments are down slope or cross-slope from bushland.</p> <p>A 20m separation (being the greater) is provided between dwellings and hazardous rated bushland, as outlined in Section 4 of the BMP.</p> <p>The site is undulating with less than 15% slopes and has an east aspect.</p>

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Lot 1 RP92508, Warner Road, Warner.

18th February, 2021.

Performance outcomes	Examples that achieve aspects of the Performance Outcomes	E Compliance – Yes – No See PO or – NA	Justification for compliance
	greater; e. away from ridgelines and hilltops; f. on land with a slope of less than 15%; g. away from north to west facing slopes.		
PO63 Lots provide adequate water supply and infrastructure to support fire-fighting.	E63 For water supply purposes, reconfiguring a lot ensures that: a. lots have access to a reticulated water supply provided by a distributor retailer for the area; or b. where no reticulated water supply is available, on-site fire fighting water storage containing not less than 10000 litres and located within a development footprint.	YES	Reticulated water supply is provided.
P064 Lots are designed to achieve : a. safe site access by avoiding potential entrapment situations; b. accessibility and manoeuvring for fire-fighting during bushfire.	E64 Reconfiguring a lot ensures a new lot is provided with: a. direct road access and egress to public roads; b. an alternative access where the private driveway is longer than 100m to reach a public road; c. driveway access to a public road that has a gradient no greater than 12.5%; d. minimum width of 3.5m	YES	A perimeter Road has been provided between residential allotments and bushland. Lots have a direct access to public roads. Proposed allotments are residential and have short direct driveways.
PO65 The road layout and design supports: a. safe and efficient emergency services access	E65 Reconfiguring a lot provides a road layout which:	YES	A perimeter Road has been provided between residential allotments and bushland. No fire trails are proposed.

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Lot 1 RP92508, Warner Road, Warner.

18th February, 2021.

Performance outcomes	Examples that achieve aspects of the Performance Outcomes	E Compliance – Yes – No See PO or – NA	Justification for compliance
<p>to all lots; and manoeuvring within the subdivision;</p> <p>b. availability and maintenance of access routes for the purpose of safe evacuation.</p>	<p>a. includes a perimeter road that separating the new lots from hazardous vegetation on adjacent lots incorporating by:</p> <p>i. a cleared width of 20m;</p> <p>ii. road gradients not exceeding 12.5%;</p> <p>iii. pavement and surface treatment capable of being used by emergency vehicles;</p> <p>iv. Turning areas for fire fighting appliances in accordance with Qld Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines.</p> <p>b. Or if the above is not practicable, a fire maintenance trail separates the lots from hazardous vegetation on adjacent lots incorporating:</p> <p>i. a minimum cleared width of 6m and minimum formed width of 4m;</p> <p>ii. gradient not exceeding 12.5%;</p> <p>iii. cross slope not exceeding 10%;</p> <p>iv. a formed width and erosion control devices to the standards specified in Planning scheme policy - Integrated design;</p>		Roads are through roads.

Moreton Bay Regional Council

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Supporting Information

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

Lot 1 RP92508, Warner Road, Warner.

18th February, 2021.

Performance outcomes	Examples that achieve aspects of the Performance Outcomes	E Compliance – Yes – No See PO or – NA	Justification for compliance
	<p>v. a turning circle or turnaround area at the end of the trail to allow fire fighting vehicles to manoeuvre;</p> <p>vi. passing bays and turning/reversing bays every 200m;</p> <p>vii. an access easement that is granted in favour of the Council and the Queensland Fire and Rescue Service or located on public land.</p> <p>c. excludes cul-de-sacs, except where a perimeter road with a cleared width of 20m isolates the lots from hazardous vegetation on adjacent lots; and</p> <p>d. excludes dead-end roads.</p>		



Bushland Protection Systems

Specialising in

**BUSHFIRE HAZARD
PLANNING & MITIGATION**

ABN 97 782 336 595 | Phone: 07 5546 7933 | PO Box 40, Ormeau, Qld, 4208 | E-mail: admin@bpsfire.com.au

Fire is a part of nature. Its effects can be catastrophic and fire can never be totally eliminated, however there are steps that can be taken to reduce the chances of uncontrolled fires occurring and the risk to life, property and the environment, in the event of uncontrolled fires. This is what we concentrate on, how the threats from bushfire can be minimised. There are many methods to do so, however deciding which method/s is best to use can be a complex decision to make. There are so many factors to consider such as ecological values, biodiversity, fire history, availability of resources, cost effectiveness and public awareness just to name a few. No guarantees can ever be given when dealing with Mother Nature, with ever increasing complexities it has now become a specialist field to be able to create plans to try and minimise the risk from bushfire. Ultimately it is a community responsibility to protect the environmental values, life and property in their area

COMPANY PROFILE

Bushland Protection Systems Pty Ltd (BPS) is a leading Bushfire Management Consultancy firm in Queensland, with many clients, ranging from private landowners to multi-national companies and Government bodies.

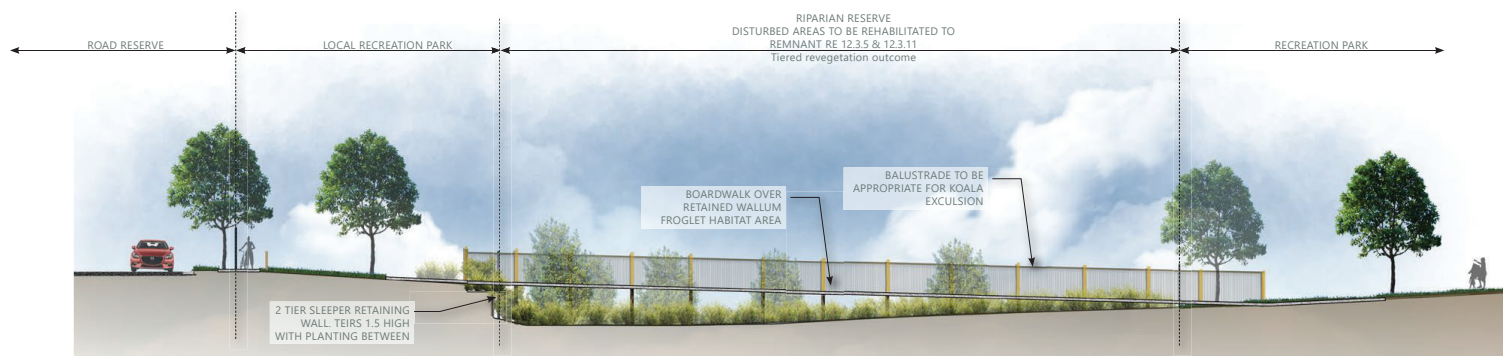
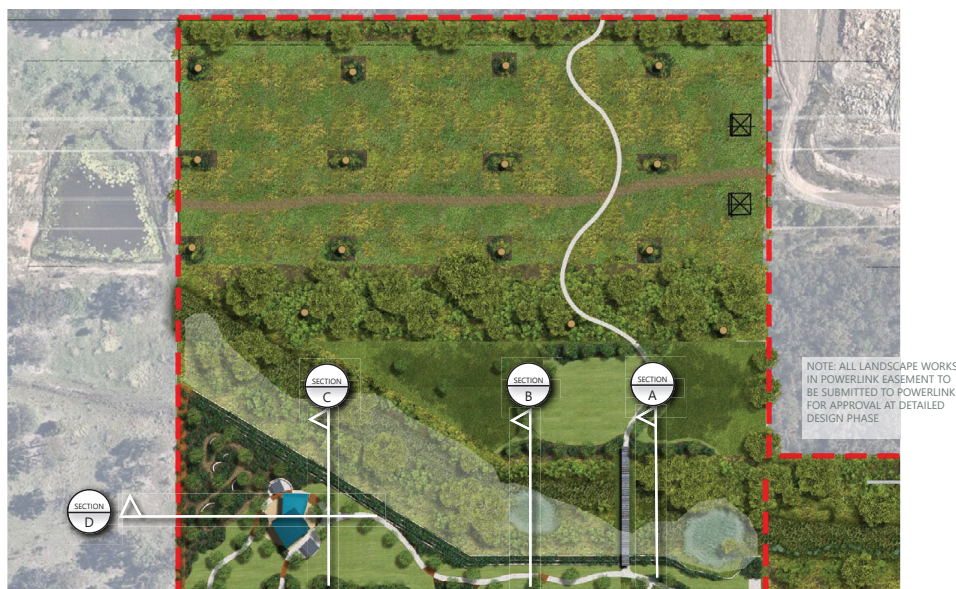
BPS consultants began operating as Bushfire Management Consultants with the introduction of the Gold Coast Bushfire Management Strategy in 1998 and spread their operations across the state with the implementation in 2003 of the State Planning Policy for mitigating the adverse impacts of flood, bushfire and landslide.

During that time over 3400 projects have been successfully completed, including large residential estates such as Coomera Waters, Spring Mountain, Pacific Pines, Coomera Springs, Observatory, Highland Reserve, Delfin Woodlands & Yarrabilba as well as commercial or Government project sites such as Paradise Country, Wacol Police Academy, Numinbah Correctional Facility, Silkwood Steiner School, Canon Hill Community Links Project & Griffith University.

With a strong background in bush fire fighting and involvement with numerous industry bodies, Bushland Protection Systems continues to deliver realistic and cost effective advice and solutions to provide higher levels of safety for the community, improve wildfire suppression and mitigation options for emergency services and land managers, while maintaining and improving environmental values for the future.

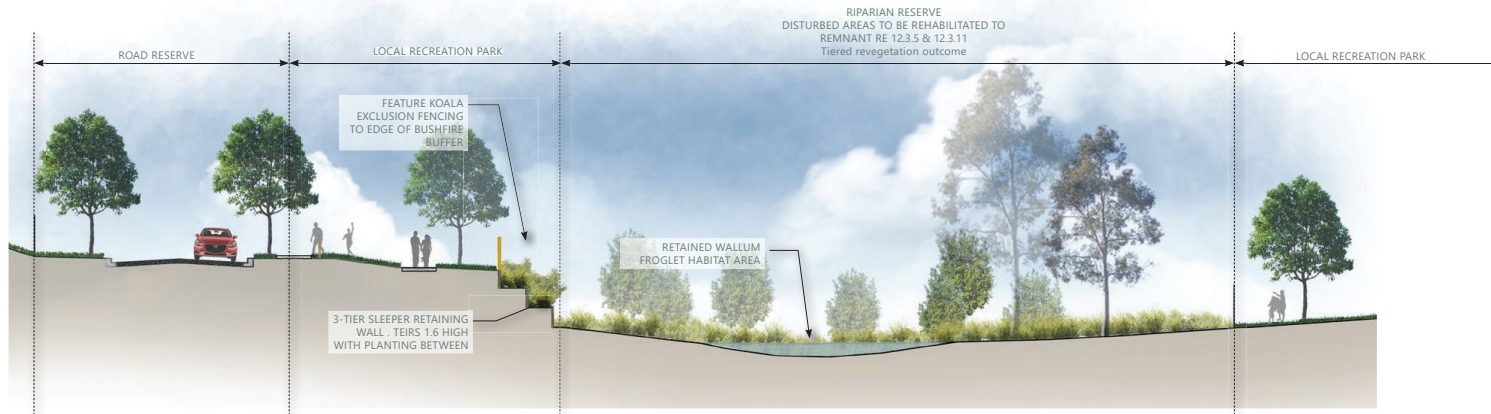
Our Consultants are registered with the Rural Fire Association of Queensland (RFAQ) as Level 2 Accredited Bushfire Practitioners.

RIPARIAN RESERVE, PARK & POWERLINK INTERFACE

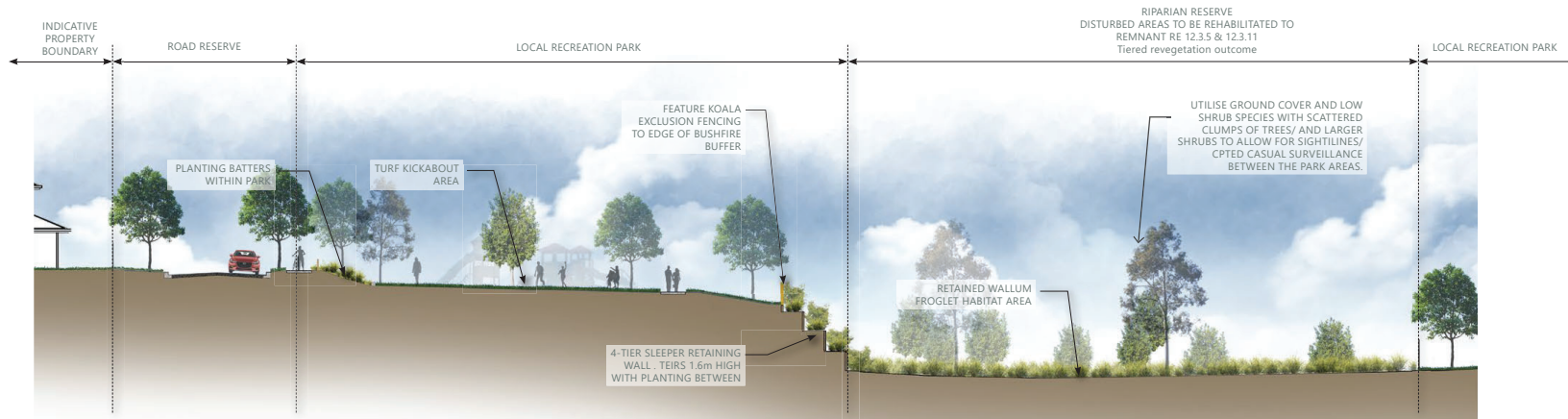


SECTION A: NORTHERN ESPLANADE ROAD ROAD, PARK AND RIPARIAN RESERVE INTERFACE - SECTION 1

PARK & RIPARIAN RESERVE INTERFACE

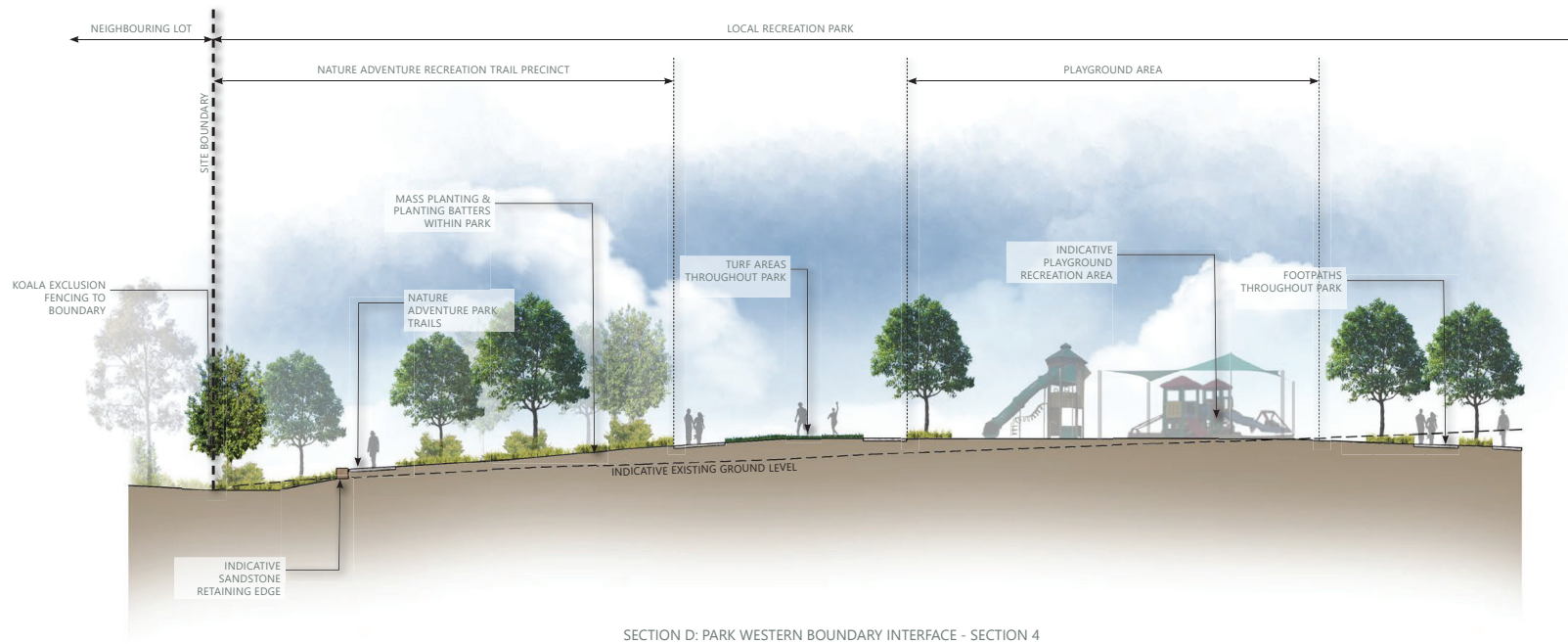


SECTION B: NORTHERN ESPLANADE ROAD, PARK AND RIPARIAN RESERVE INTERFACE - SECTION 2



SECTION C: NORTHERN ESPLANADE ROAD, PARK AND RIPARIAN RESERVE INTERFACE - SECTION 3

PARK & WESTERN BOUNDARY INTERFACE



PEDESTRIAN LINKAGE PLAN



LEGEND

-  SHARED PEDESTRIAN PATH
2.5m wide Broom Finished Concrete (BFC)
shared pedestrian/bike footpath
-  PRIMARY PEDESTRIAN PATHS
2.0m wide Broom Finished Concrete (BFC)
footpath

NOTE:
FINAL PATH LOCATIONS TO BE CONFIRMED AT
OPERATIONAL WORKS IN CONJUNCTION WITH
CIVIL ENGINEERING APPLICATION

STREET TREE INTENT PLAN



Flindersia schottiana - Bumpy Ash



Lophostemon confertus - Brush Box



Waterhousea floribunda - Weeping Lilly



Brachychiton acerfolius - Flame Tree



Grevillea baileyana - Silky Oak



Elaeocarpus eumundii - Quandong



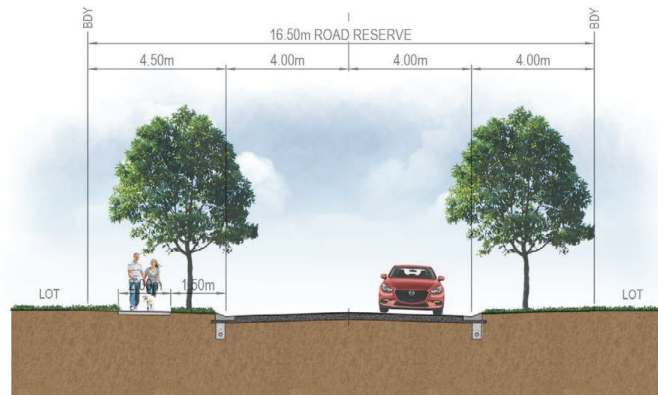
Harpullia pendula - Tulipwood



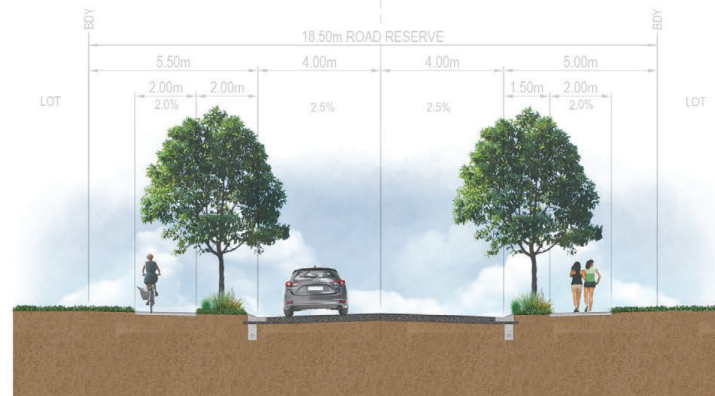
Elaeocarpus reticulatus - Blueberry Ash

NOTE:
FINAL SPECIES SELECTION
AT OP WORKS TO BE IN
ACCORDANCE WITH QBCC
STRUCTURAL GUIDELINES.

STREETSCAPE TYPOLOGY SECTIONS - SHEET 1

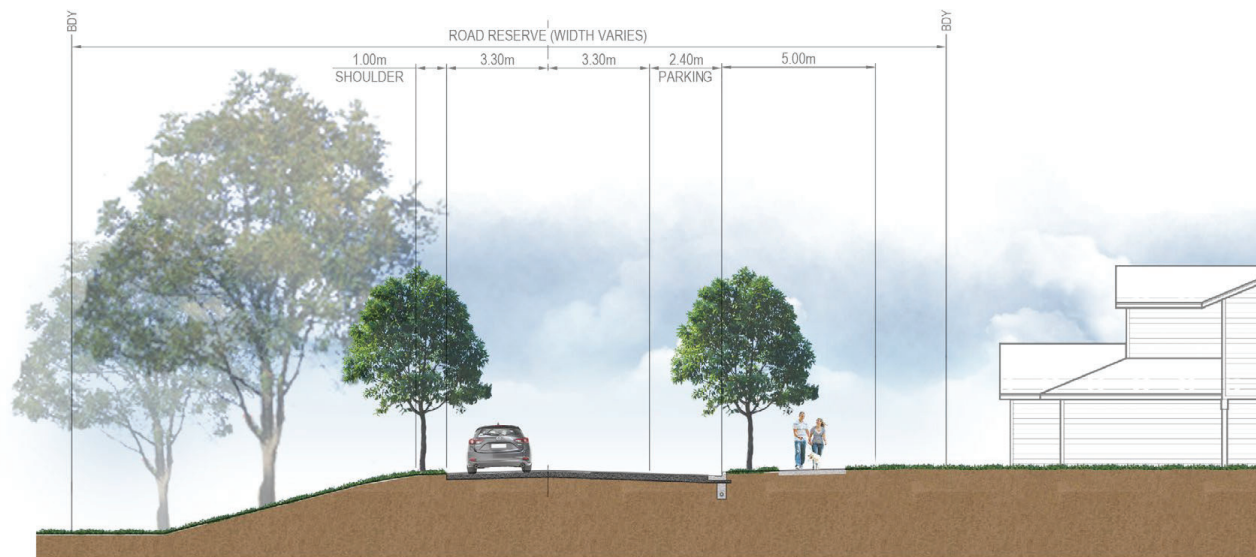


MODIFIED MBRC LIVING RESIDENTIAL ROAD
16.5m ROAD RESERVE



MODIFIED MBRC CONTEMPORARY RESIDENTIAL ROAD
18.5m ROAD RESERVE

STREETSCAPE TYPOLOGY SECTIONS - SHEET 2



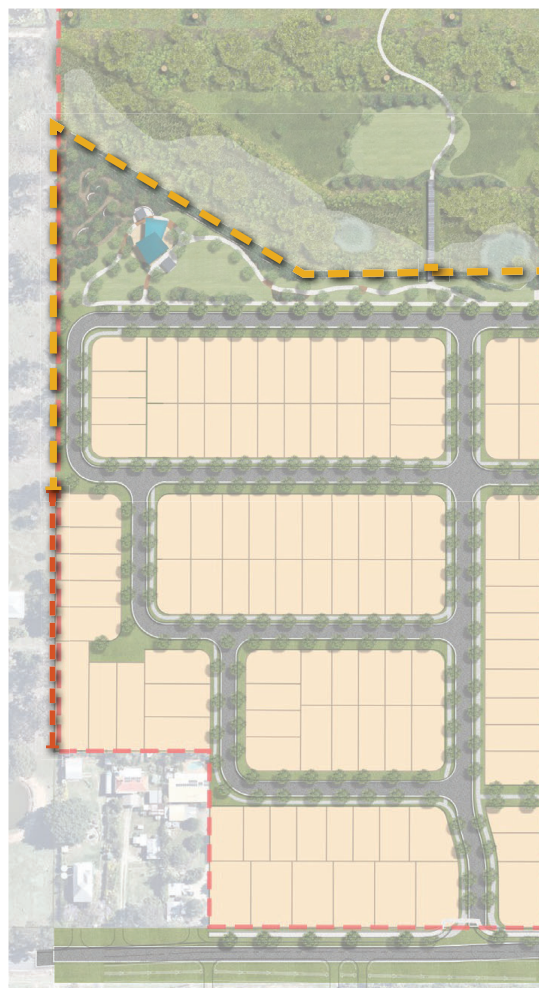
WARNER ROAD
(EXISTING ROAD RESERVE WIDTH VARIES)

WARNER ROAD

OVERALL FENCE LAYOUT PLAN

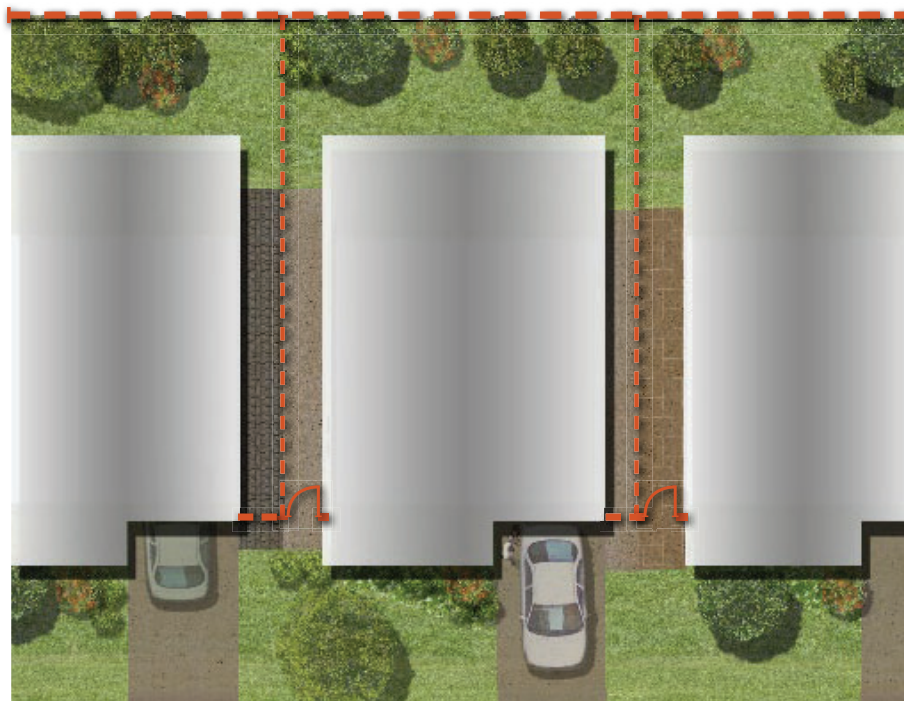


TYPICAL KOALA
EXCLUSION FENCE



- 1.8M HIGH FEATURE KOALA EXCLUSION FENCING**
To interface between development and rehabilitation corridor
Timber posts capped with aluminium flashing facing the riparian reserve to ensure koala climbing is prevented
- 1.8M SECONDARY KOALA EXCLUSION FENCING**
1.8m High Koala exclusion fencing or similar approved koala exclusion fencing to interface between the proposed development and adjacent property to the west (final design subject to neighbours agreement).

TYPICAL LOT FENCE LAYOUT PLAN



INDICATIVE LOT FENCING:
1.8m High butted paling fence to
rear, sides and to return to the front
of lots
NOTE: gates to front of lots to match
adjoining 1.8m high paling fence

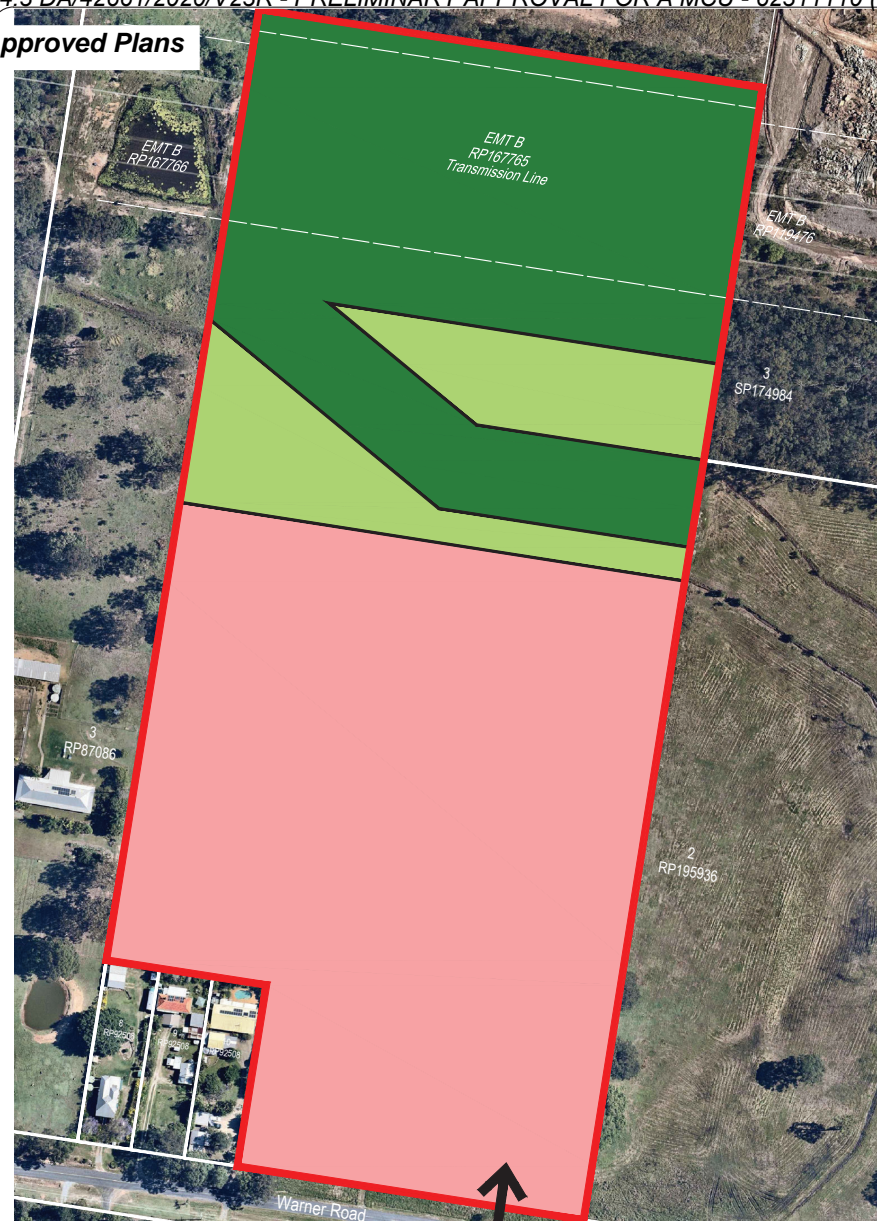
IMAGERY



1. FEATURE ESTATE FENCING
2. INDICATIVE ENTRY WALL
3. FOOTPATH
4. MASS REHABILITATION
5. BOLLARDS
6. REHABILITATION
7. REVEGETATED SWALE
8. TYPICAL LOT FENCING
9. FEATURE KOALA EXCLUSION FENCING
10. FEATURE KOALA EXCLUSION FENCING
11. STANDARD KOALA EXCLUSION FENCING OPTION
12. PLAYGROUND
13. TURF KICK-A-BOUT
14. DOG OFF LEASH AREA
15. PARK SHELTER

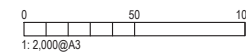
ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

#3 Approved Plans



LEGEND

Subject Property boundary	
General residential zone (Next generation neighbourhood precinct)	
Recreation and open space zone	
Environmental management and conservation zone	
Future Access	



CLIENT
Ausbuild Development
Corp Pty Ltd

PROJECT
Zone Map
ZM-68 + ZM-69
specific for
Lot 1 RP92508

AMENDMENTS	DATE
A Original	23/09/20
B	
C	
D	
E	
F	
G	
DESIGNED KS	DATE 23/09/20
SURVEYED	DATE
DRAWN KS	DATE 23/09/20

NOTES

Cadastral Boundaries:
DCDB © State of Queensland (Department of
Natural Resources and Mines) 2016.

This note is an integral part of this plan. This
plan may not be reproduced without this note.

This plan was prepared for a Development
Application. This plan should not be used for
any other purposes.

This plan remains subject to, but not limited
to, authority approval, detail design and final
survey.

The total number of lots shown on this plan is
approximate only.

No relevance should be placed on the
information on this plan for any financial
dealings involving the land.

Copyright © PEAK URBAN Pty Ltd (23.09.2020)

SHEET NO...	1	OF	1	...SHEETS
COMPUTER FILE	18-0083-PG22-A			
SCALE	1:2,000	©	A3	
DRAWING No	18-0083-PG22			
AMEND	A			

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

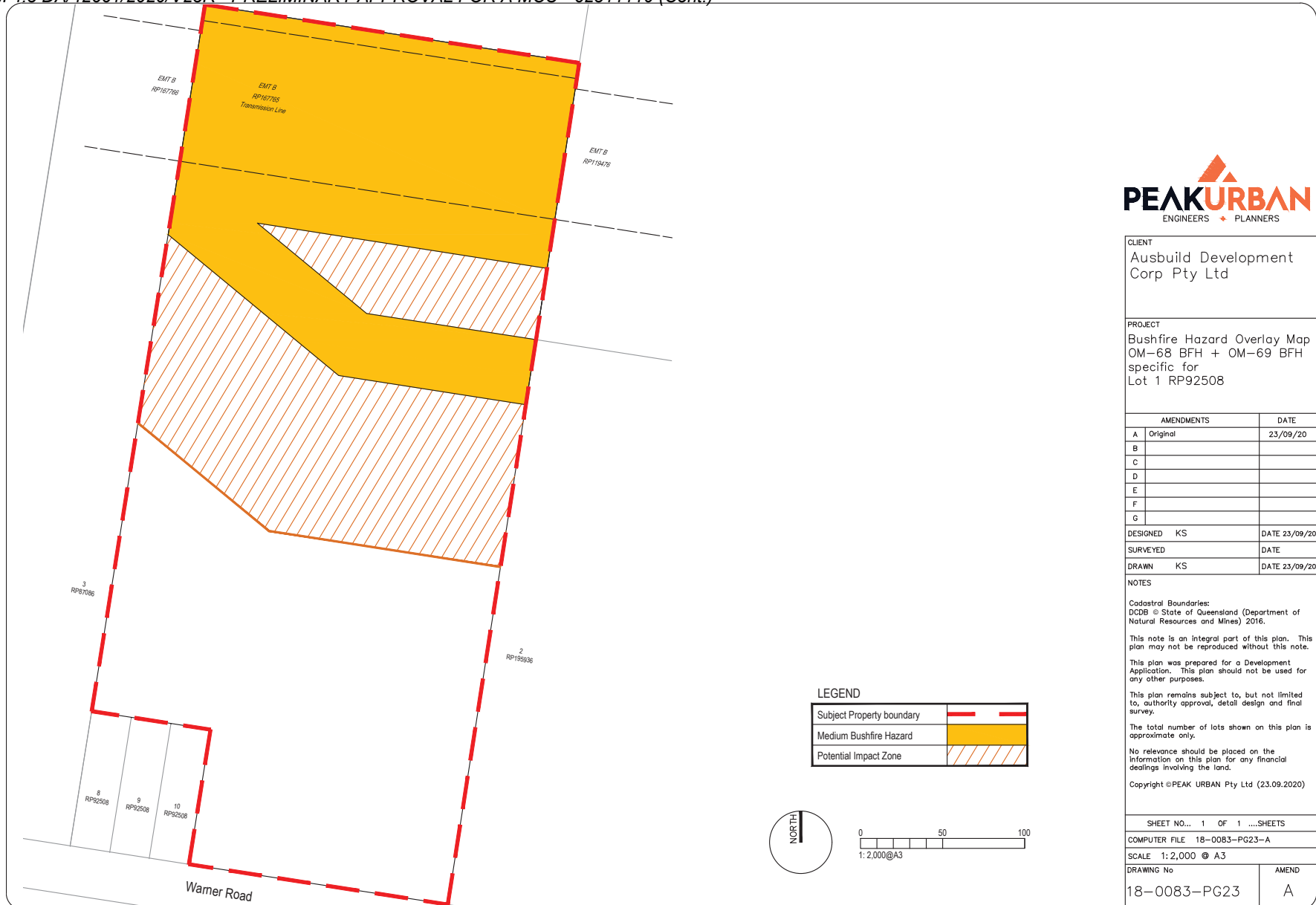


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ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)



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ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

Ausbuild Warner Table 9.3.1.5 Setbacks

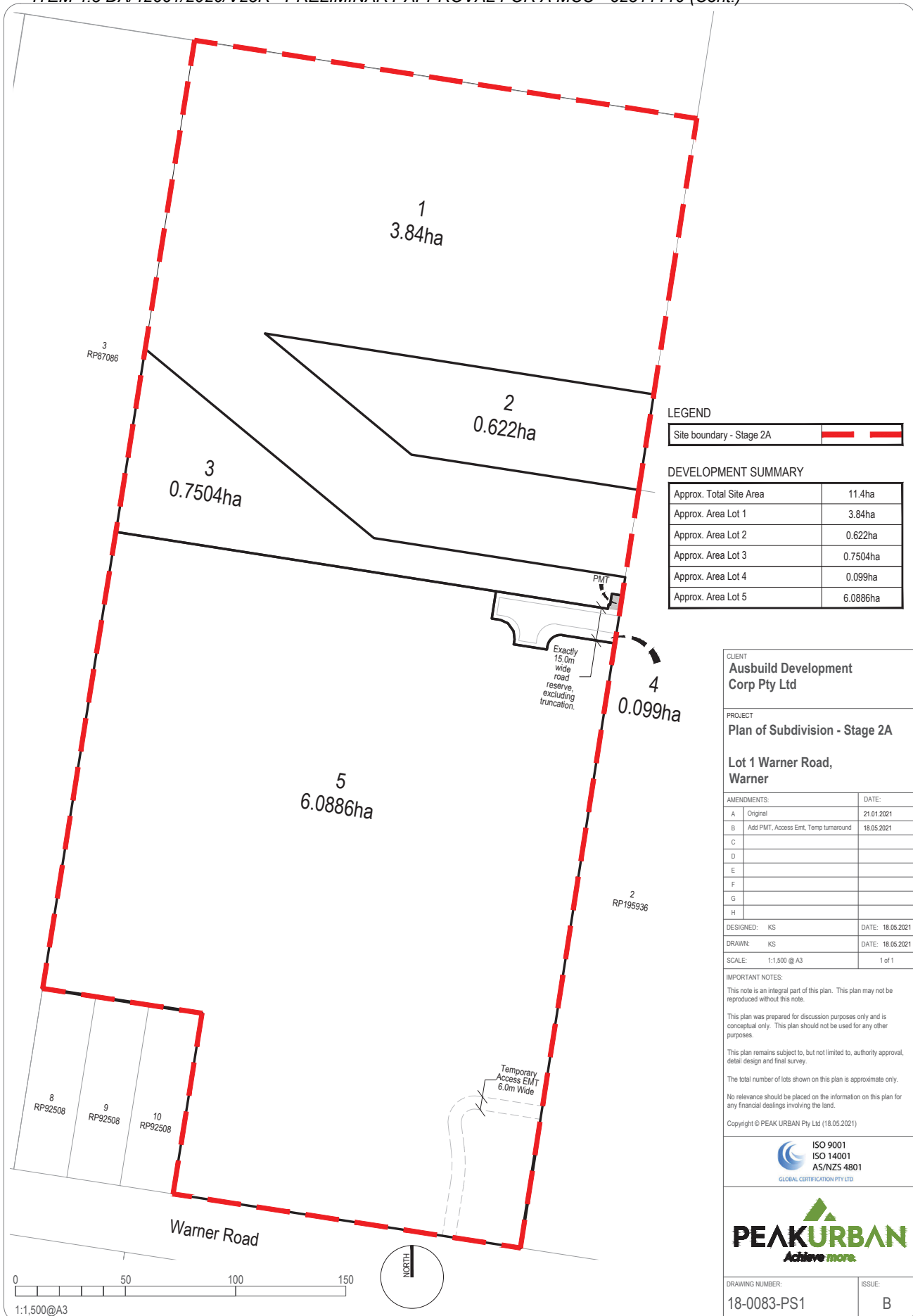
Dwelling House Code - DA/42661/2020/V23R

Setbacks for Warner Road Development										
Height of wall	Frontage Primary			Frontage Secondary to street			Frontage Secondary to Lane	Side Non-built to boundary (To Wall)	Rear (To Wall)	Trafficable water body to OMP and wall
	To wall	To OMP	To covered car parking space and domestic outbuildings (measured to garage door or support posts).	To wall	To OMP	To covered car parking space and domestic outbuildings (measured to garage door or support posts).	To wall and covered car parking space			
Less than 4.5m	Min 3m	Min 2m	Min 5.4m*	Min 1.5m	Min 1m	Min 5.4m*	Min 0.5m	Lots <16m wide: Min 1.0m Lots 16m and wider: Min 1.2m	Lots <16m wide: Min 1.0m Lots 16m and wider: Min 1.2m	Min 4.5m
4.5m to 8.5m	Min 3m	Min 2m	N/A	Min 1.5m	Min 1m	N/A	Min 0.5m	Lots <16m wide: Min 1.0m Lots 16m and wider: Min 1.5m	Lots <16m wide: Min 1.0m Lots 16m and wider: Min 1.5m	Min 4.5m
Greater than 8.5m	Min 6m	Min 5m	N/A	Min 3m	Min 2m	N/A	Min 0.5m	Lots <16m wide: Min 1.5m Lots 16m and wider: Min 2.0m	Lots <16m wide: Min 1.5m Lots 16m and wider: Min 2.0m	Min 4.5m

*Note - The minimum setback to covered car parking spaces may be reduced to 4.5m where:

- the primary or secondary frontage of the lot adjoins a road reserve with a minimum rear verge width of 1m or greater and includes a footpath with a width of 2m or greater;
- the lot has a primary frontage greater than 7.5m and no greater than 10m (Lot type B).

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)



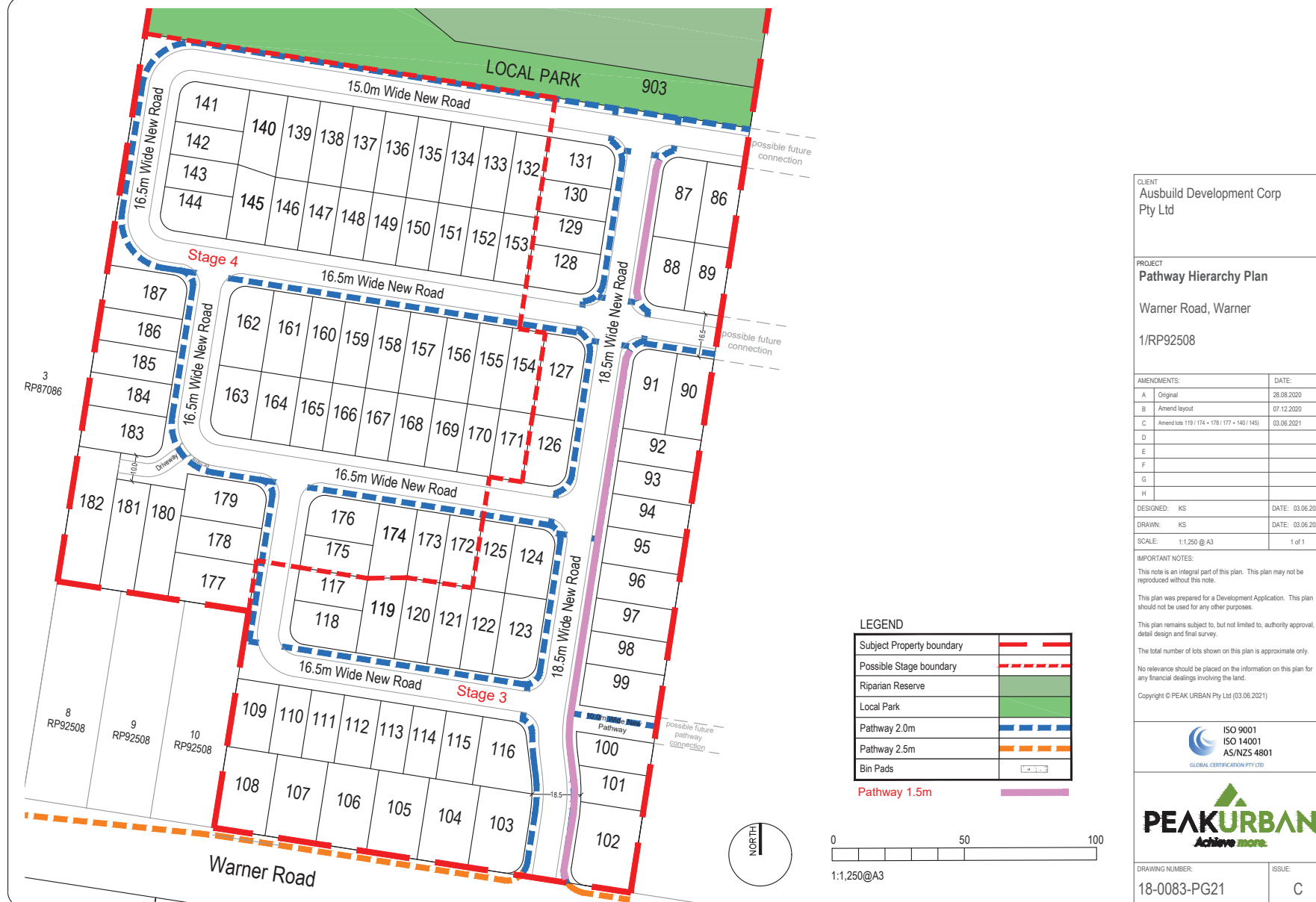
ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)



ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

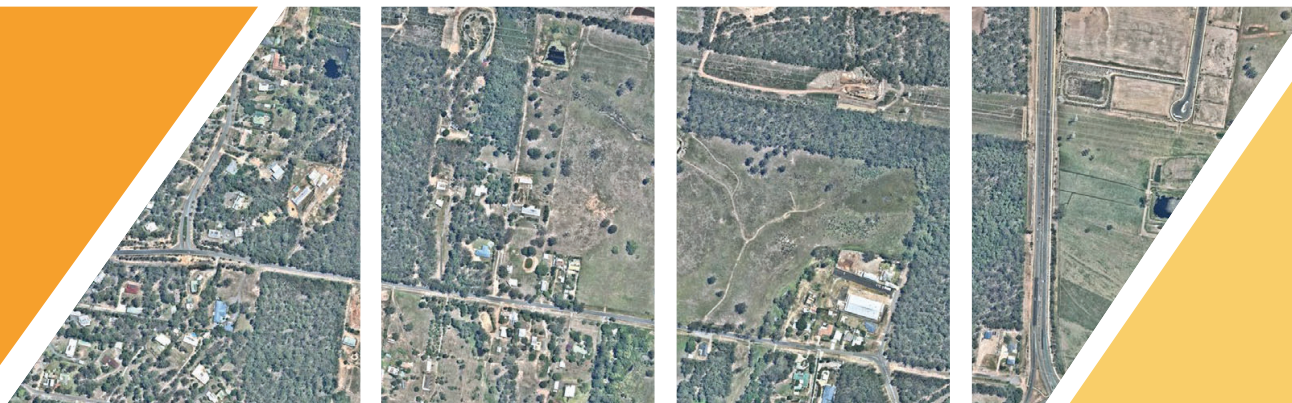


ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)



WARNER ROAD

LOT 1 ON RP92508 WARNER ROAD, WARNER



LANDSCAPE CONCEPT PACKAGE | July 2021 | 9513 H

This development application seeks: (a) a preliminary approval for a material change of use for dwelling houses, home based business, sales office and park that includes a variation request to vary the effect of the Moreton Bay Regional Council (MBRC) Planning Scheme 2016; and (b) a development permit for reconfiguring a lot to create 102 residential lots, road and greenspace. Given that the intent of the material change of use is demonstrated by the reconfiguring a lot which provides certainty about the intended development, this report only specifically considers the reconfiguring a lot aspect of the proposed development. However, the analyses undertaken and conclusions reached in this report, will also apply to the material change of use aspect of the proposed development. This landscape package aims to illustrate proposed landscape treatments and strategies to support the proposed development.

For further details in relation to environmental corridors and offset strategy, refer to 28 South and for further information regarding stormwater and layout strategies, refer to Peak Urban.

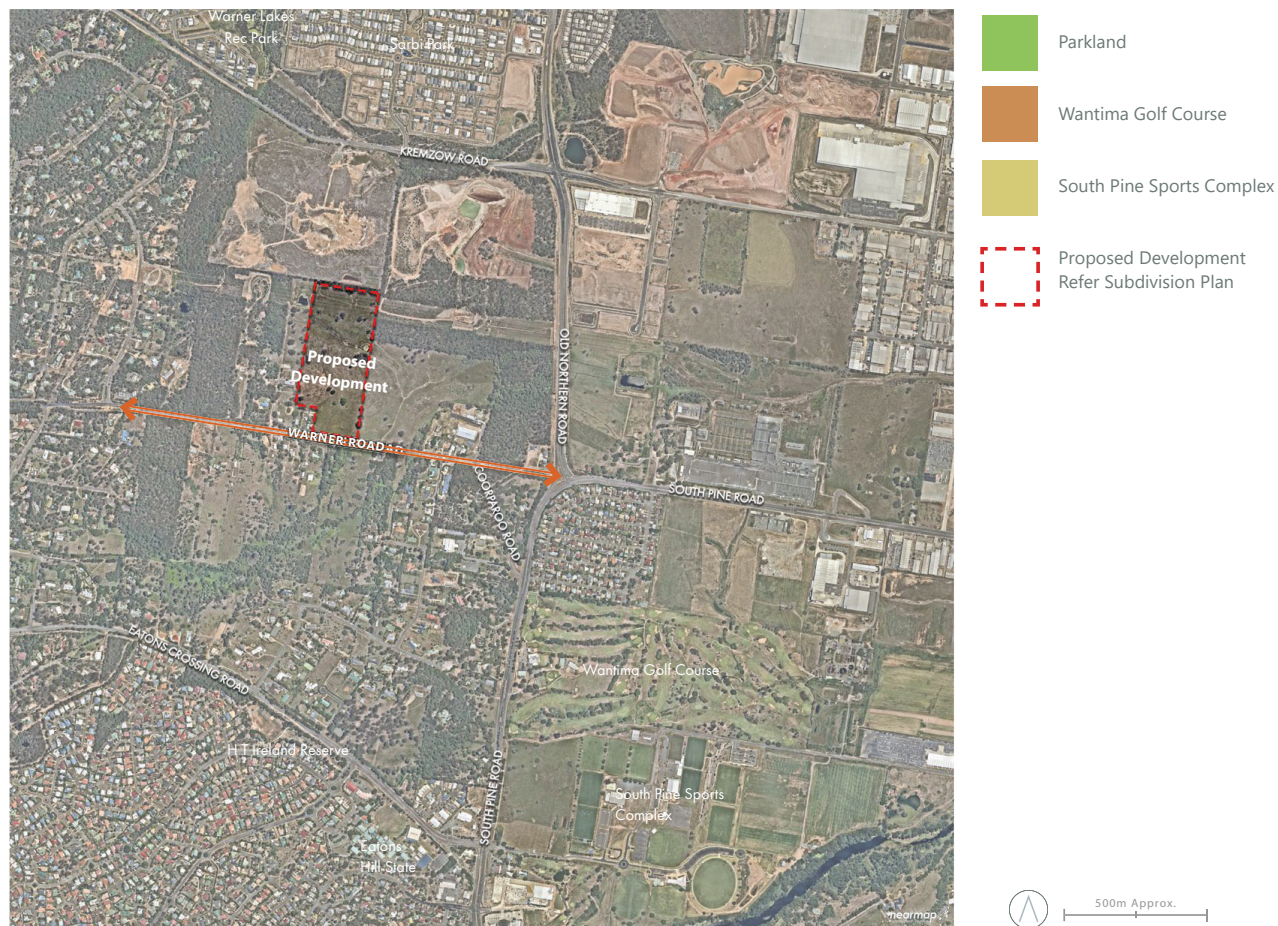
This Concept Package depicts the broad landscape intent for the proposed development and aims to illustrate proposed landscape treatments and strategies including proposed pedestrian connections, uses and arrangement of formal and informal recreation opportunities and embellishments. Overall, the landscape intent seeks to provide a recreational environment that balances passive and active recreation uses while harmoniously co-existing and visually interacting with the riparian reserve. Additionally, the landscape intent seeks to safely and effectively cater for stormwater requirements, environmental goals and bushfire considerations. All details are intended to be fully resolved at a future detailed design phase in conjunction with



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- 102 Contents
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- 104 Overall Masterplan
- 105 Local Recreation Park Intent
- 106 Riparian Reserve, Park & Powerlink Interface
- 107 Park & Riparian Reserve Interface
- 108 Park & Western Boundary Interface
- 109 Pedestrian Linkage Plan
- 110 Street Tree Intent Plan
- 111 Streetscape Typology Sections - Sheet 1
- 112 Streetscape Typology Sections - Sheet 2
- 113 Overall Fence Layout Plan
- 114 Typical Lot Fence Layout Plan
- 115 Imagery

SITE OPEN SPACE CONTEXT PLAN



ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)



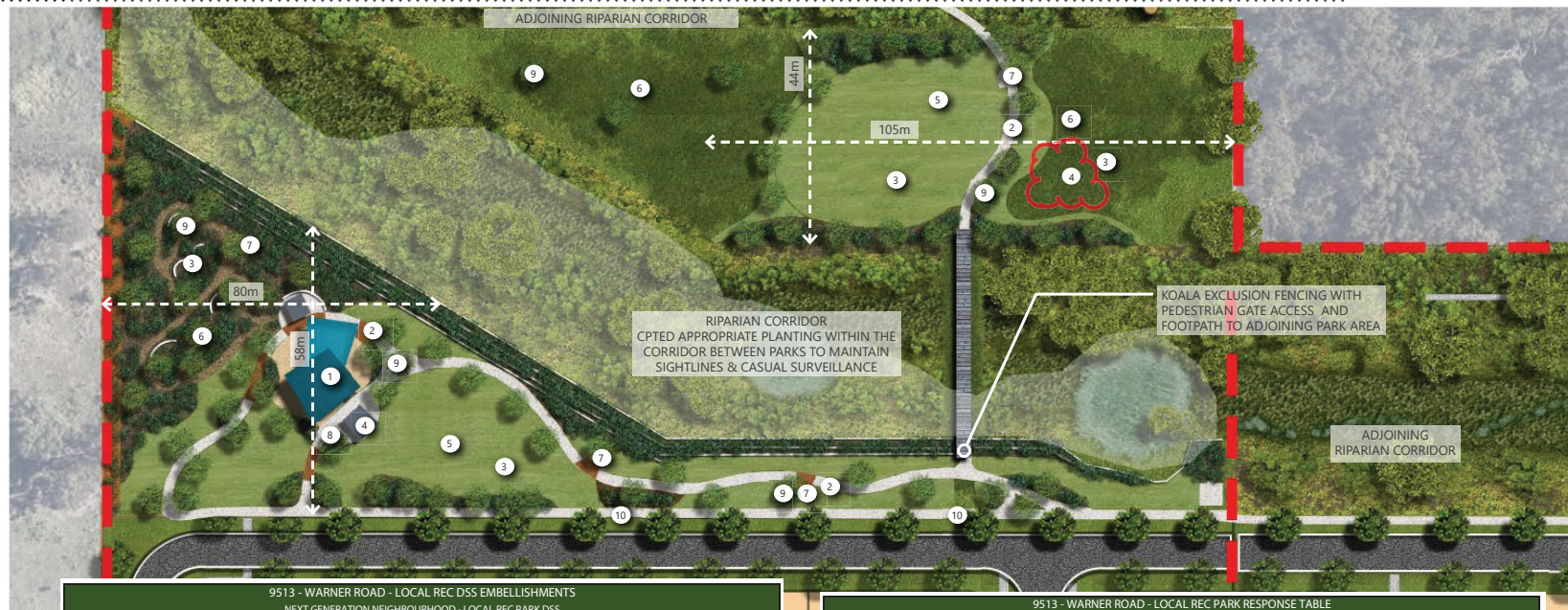
OVERALL MASTERPLAN

LEGEND

1. ADVANCED STREET TREES:
Planting to road reserve in front of lots
2. INDICATIVE PEDESTRIAN FOOTPATH
Footpath width and hierarchy - refer p109 for Pedestrian Linkage Plan
3. PEDESTRIAN CONNECTION
Bollards provided at end of driveway with pedestrian connection link
4. SHARED PATHWAY TO WARNER ROAD
Bike and pedestrian - Refer p109 for Pedestrian Linkage Plan
5. ENTRY FEATURE
Indicative location of entry wall/feature on private lot and feature planting
6. LOTS FRONTING WARNER ROAD
7. FEATURE KOALA EXCLUSION FENCING
1.8m high feature Koala anti-climb fence to interface between the proposed development and riparian reserve - Refer p113 for Overall Fence Layout Plan
8. SECONDARY KOALA EXCLUSION FENCING
1.8m High Koala exclusion fencing or similar approved koala exclusion fencing to interface between the proposed development and adjacent properties to the west (final design subject to neighbours agreement) - Refer p113 for Overall Fence Layout Plan
9. INDICATIVE LOT AREAS
Refer Subdivision Plan for current lot layout
1.8m High Butted timber paling Koala exclusion fencing to the frontage of all lots facing a road - Refer p113 for Typical Lot Fence Layout Plan
10. RIPARIAN RESERVE
Full tiered revegetation outcome - Disturbed areas to be rehabilitated to remnant RE. 12.3.5 & 12.3.11. Weed management, existing native species retention, assisted regeneration and infill revegetation planting
In accordance with stormwater, bushfire management and ecology requirements
11. REVEGETATED OVERLAND FLOW PATH & RETAINED WALLUM FROGLET HABITAT
Revegetated overland flow drainage swale within Riparian Reserve (RE as above with focus on lower slope variants)
Utilise ground cover and low shrub species with scattered clumps of trees/ and larger shrubs to allow for sightlines/ CPTED casual surveillance between the park areas
12. POWERLINE EASEMENT
Slashed grass, koala poles and powerline friendly vegetation (not exceeding 3.5m in height), such as Eucalyptus kabiana (Mt Beerwah mallee) to provide supplementary koala movement along and across the easement having regard to bushfire requirements
13. LOCAL RECREATION PARK
Refer p105 for Embellishments and additional details
14. KOALA REFUGE POLES

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

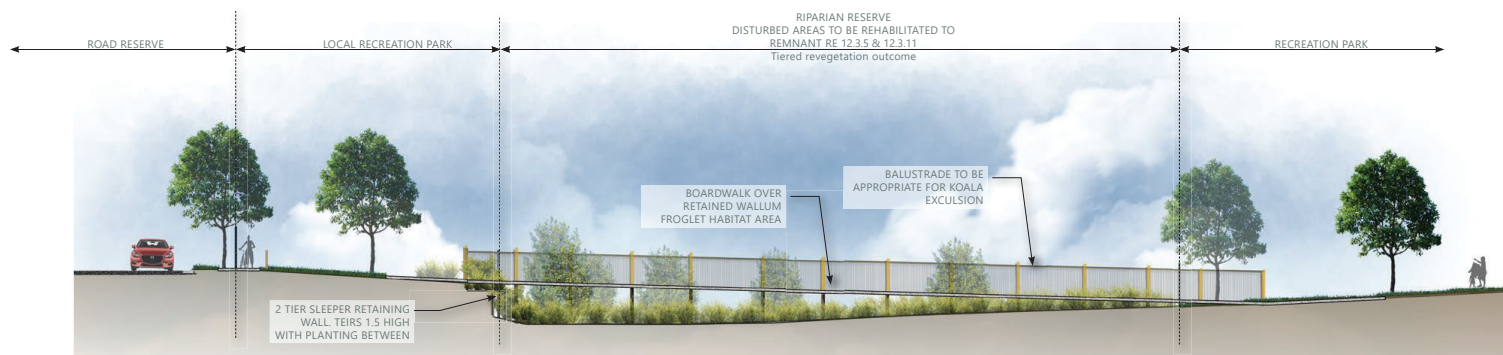
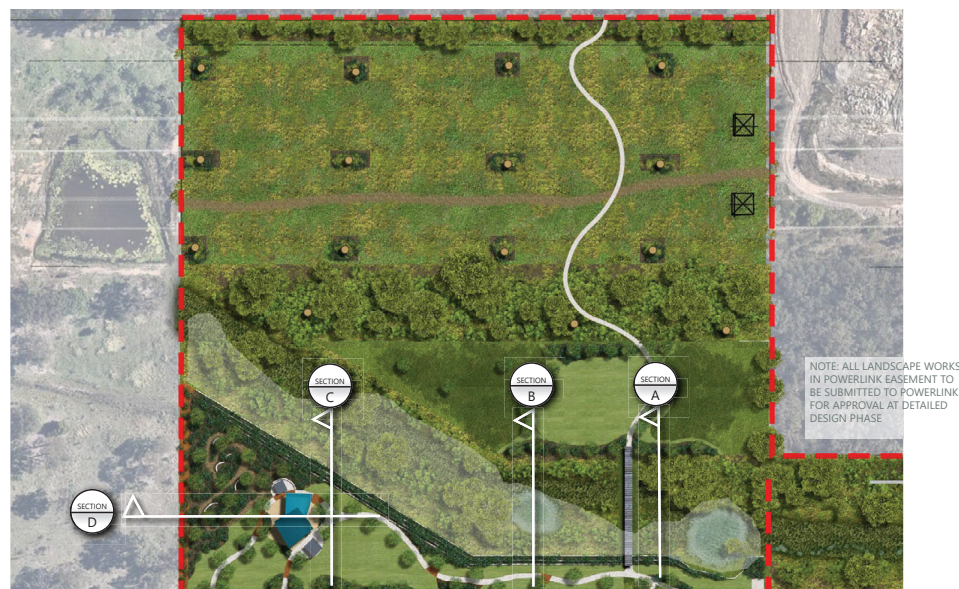
LOCAL RECREATION PARK INTENT



9513 - WARNER ROAD - LOCAL REC DSS EMBELLISHMENTS NEXT GENERATION NEIGHBOURHOOD - LOCAL REC PARK DSS				
No.	Embellishment type	Required under the DSS		Notes
		YES	NO	
1	Play Areas	✓		Range of equipment & settings suitable for broad age group
2	Cycling & walking opportunities (connecting pathways)	✓		1.5-2m Width pathways for cycling and walking within park and to connect to external network
3	Multi-use activity spaces	✓		Range of equipment & settings suitable for broad age group and multiple uses/ activities.
4	Picnic areas (Shelter and picnic setting)	✓		Shelter with outdoor picnic setting furniture under - made of robust materials
5	Kick-a-bout spaces	✓		Turf kick-a-bout for recreation use
6	Passive recreation nodes	✓		Informal recreation nodes throughout park aligned with and adjacent to other embellishments and features throughout park.
7	Seating Opportunities	✓		Park benches at key features and vantage points under shade throughout park.
8	Drinking fountains (tap/bubbler)	✓		Disability access compliant drinking fountain with vandal-proof tap
9	Shade Trees	-	-	Along all paths, frontages and main use areas
10	Vehicle Protection Barrier	-	-	High kerbs with trees to create natural barrier or bollards along boundary between road and park frontage.

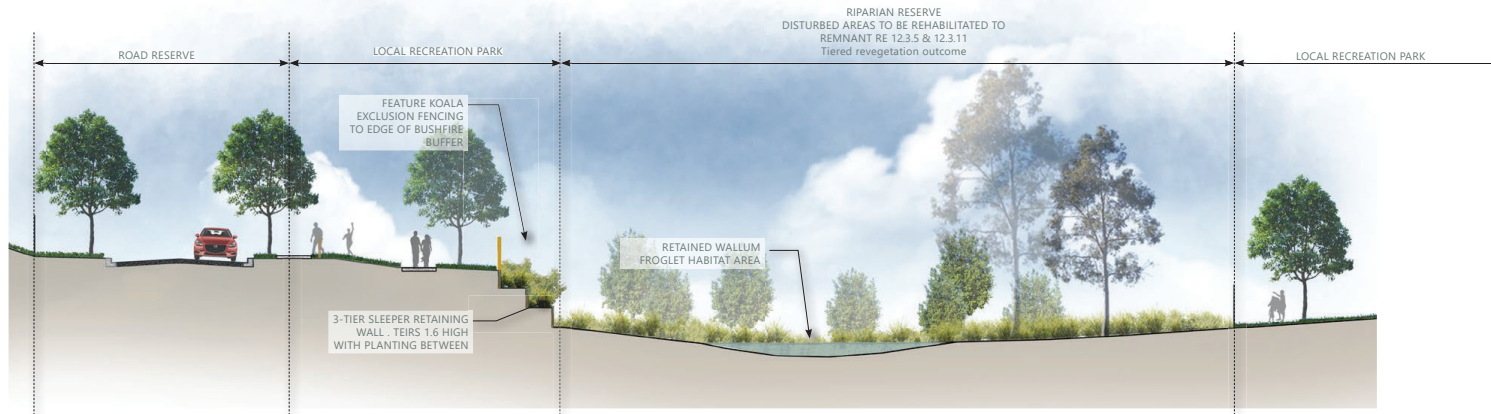
9513 - WARNER ROAD - LOCAL REC PARK RESPONSE TABLE NEXT GENERATION NEIGHBOURHOOD - LOCAL REC PARK DSS		
LR DSS Item	MBRC LR Requirement	Notes/ Demonstration of GIA Outcomes
Accessibility Standards	400mm Accessibility standard	Complies with 400m access radius to all lots to proposed development footprint
Rate of Land Provision	Provision target 1ha/1000 people Min Land .5 ha	Complies - combined park area is 13,755m ²
PUBLIC PARK DESIGN REQUIREMENTS		
Width to Depth ratio	0.5	Complies - average width to depth ratio in the proposed park is approx 0.57
Min width	20m	Generally complies - a minor portion remains under 20m width, however the majority of park (area greater than the required land provision) is compliant with the min. 20m dimension.
Min road frontage	40%	Given the planning and environmental restrictions, the min. road frontage does not achieve 40%. Future road connection to the west will increase the percentage of road frontage.
Road type	Collector or lower	Complies - refer Civil/ planning for road hierarchy
No. access points	1	Complies - access along 1 connected road
Flood immunity	100% of land above 2% AEP	Complies - 100% park above Q50

RIPARIAN RESERVE, PARK & POWERLINK INTERFACE

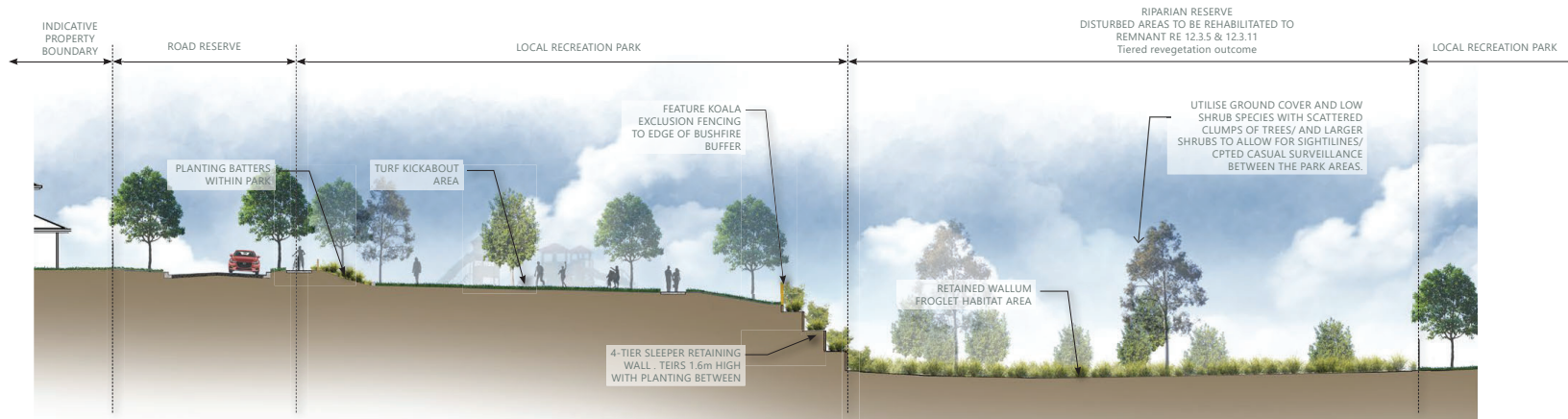


SECTION A: NORTHERN ESPLANADE ROAD ROAD, PARK AND RIPARIAN RESERVE INTERFACE - SECTION 1

PARK & RIPARIAN RESERVE INTERFACE

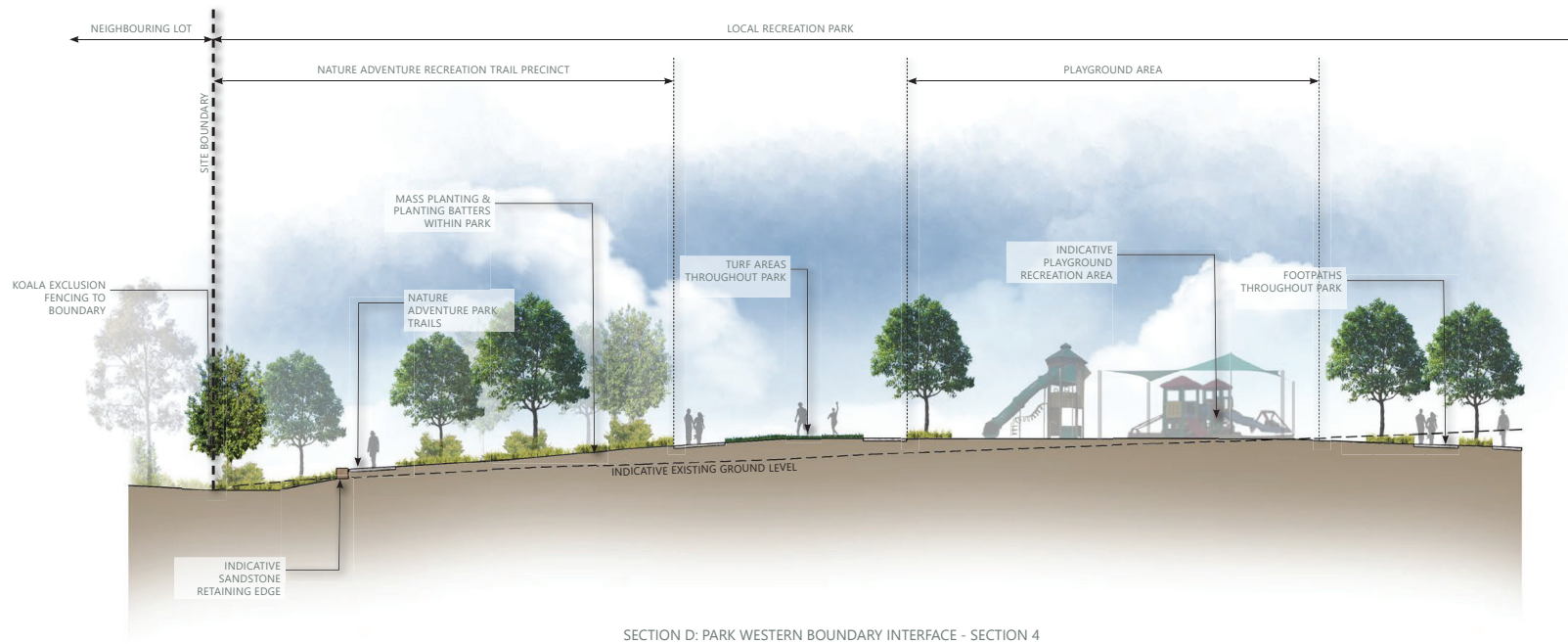


SECTION B: NORTHERN ESPLANADE ROAD, PARK AND RIPARIAN RESERVE INTERFACE - SECTION 2



SECTION C: NORTHERN ESPLANADE ROAD, PARK AND RIPARIAN RESERVE INTERFACE - SECTION 3

PARK & WESTERN BOUNDARY INTERFACE



PEDESTRIAN LINKAGE PLAN



LEGEND



SHARED PEDESTRIAN PATH
2.5m wide Broom Finished Concrete (BFC)
shared pedestrian/bike footpath



PRIMARY PEDESTRIAN PATHS
2.0m wide Broom Finished Concrete (BFC)
footpath



1.5m wide Broom finished Concrete footpath

NOTE:

FINAL PATH LOCATIONS TO BE CONFIRMED AT
OPERATIONAL WORKS IN CONJUNCTION WITH
CIVIL ENGINEERING APPLICATION

STREET TREE INTENT PLAN



Flindersia schottiana - Bumpy Ash



Lophostemon confertus - Brush Box



Waterhousea floribunda - Weeping Lilly



Brachychiton acerifolius - Flame Tree



Grevillea baileyana - Silky Oak



Elaeocarpus eumundii - Quandong



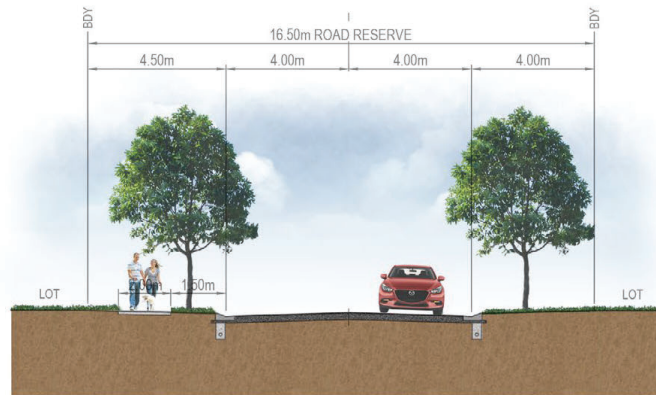
Harpullia pendula - Tulipwood



Elaeocarpus reticulatus - Blueberry Ash

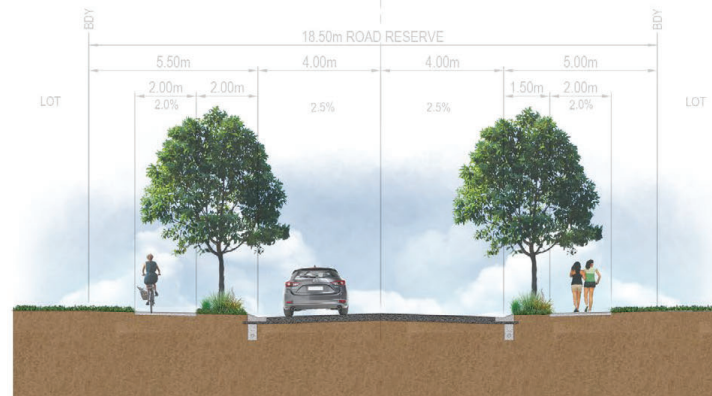
NOTE:
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STREETSCAPE TYPOLOGY SECTIONS - SHEET 1



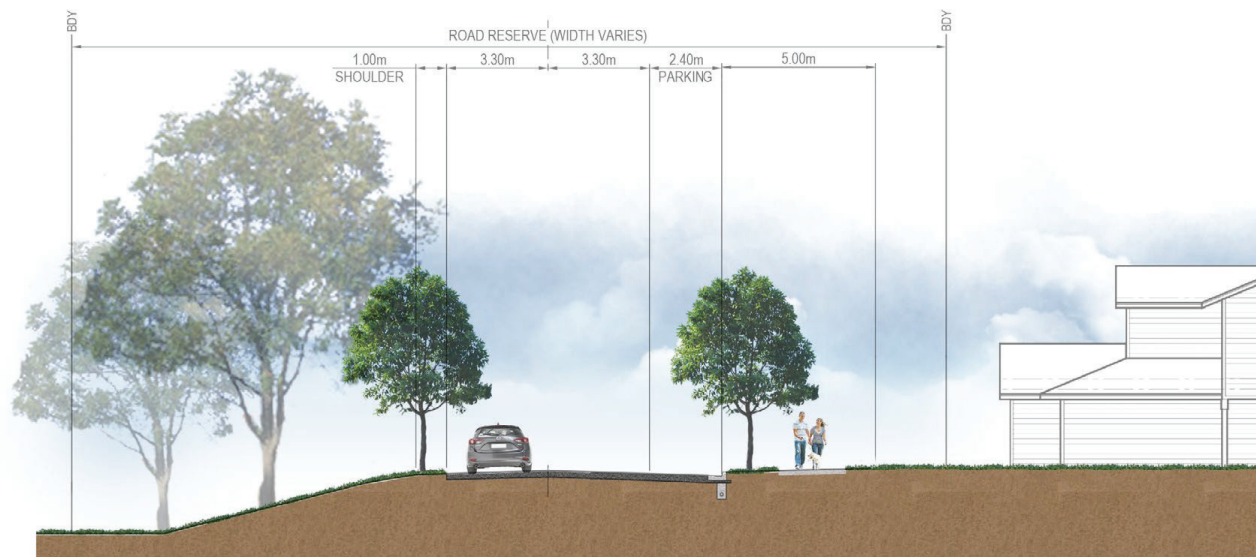
MODIFIED MBRC LIVING RESIDENTIAL ROAD
16.5m ROAD RESERVE

NOTE:
FINAL CROSS SECTIONS TO BE CONFIRMED IN
CONDITIONS OF SUBDIVISION APPROVAL AND
AT OPERATIONAL WORKS



MODIFIED MBRC CONTEMPORARY RESIDENTIAL ROAD
18.5m ROAD RESERVE

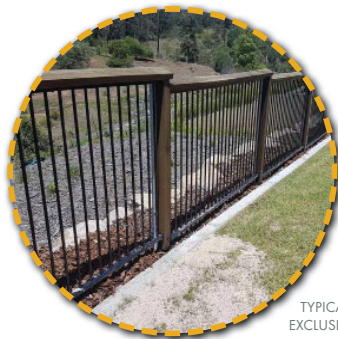
STREETSCAPE TYPOLOGY SECTIONS - SHEET 2



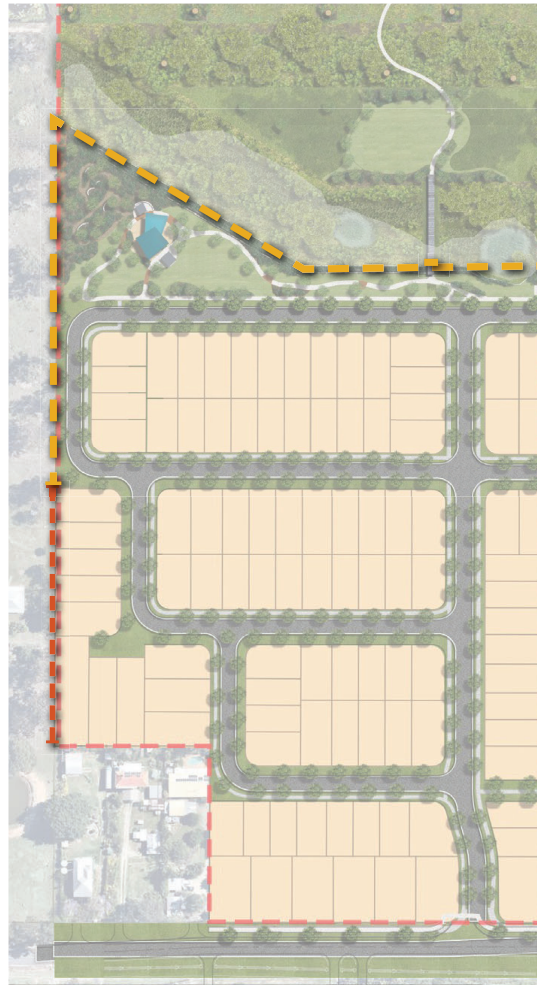
WARNER ROAD
(EXISTING ROAD RESERVE WIDTH VARIES)

WARNER ROAD

OVERALL FENCE LAYOUT PLAN

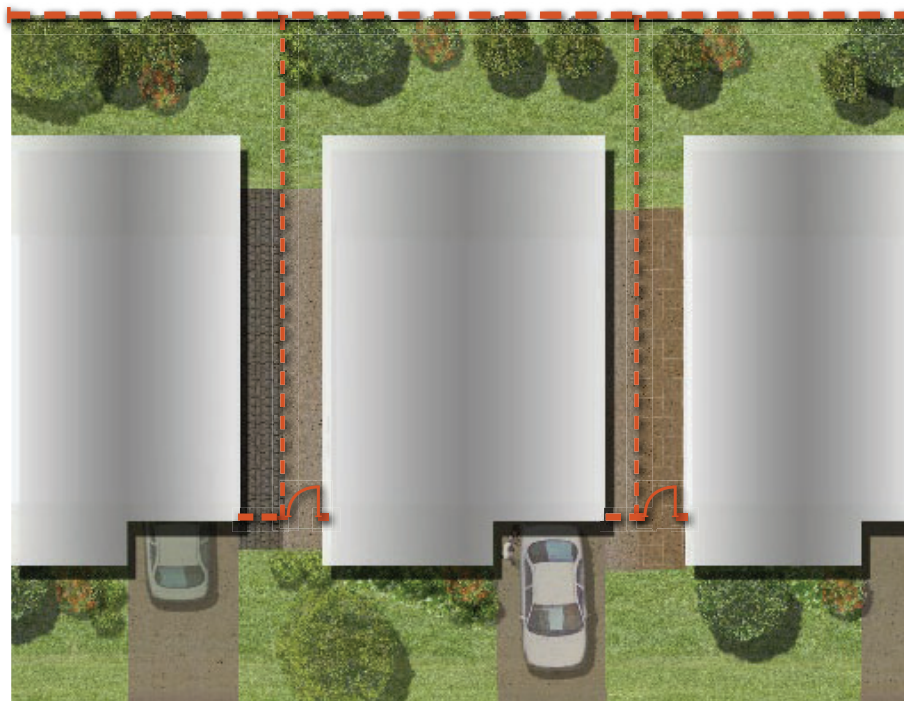


TYPICAL KOALA
EXCLUSION FENCE



- 1.8M HIGH FEATURE KOALA EXCLUSION FENCING**
To interface between development and rehabilitation corridor
Timber posts capped with aluminium flashing facing the riparian reserve to ensure koala climbing is prevented
- 1.8M SECONDARY KOALA EXCLUSION FENCING**
1.8m High Koala exclusion fencing or similar approved koala exclusion fencing to interface between the proposed development and adjacent property to the west (final design subject to neighbours agreement).

TYPICAL LOT FENCE LAYOUT PLAN



INDICATIVE LOT FENCING:
1.8m High butted paling fence to
rear, sides and to return to the front
of lots
NOTE: gates to front of lots to match
adjoining 1.8m high paling fence

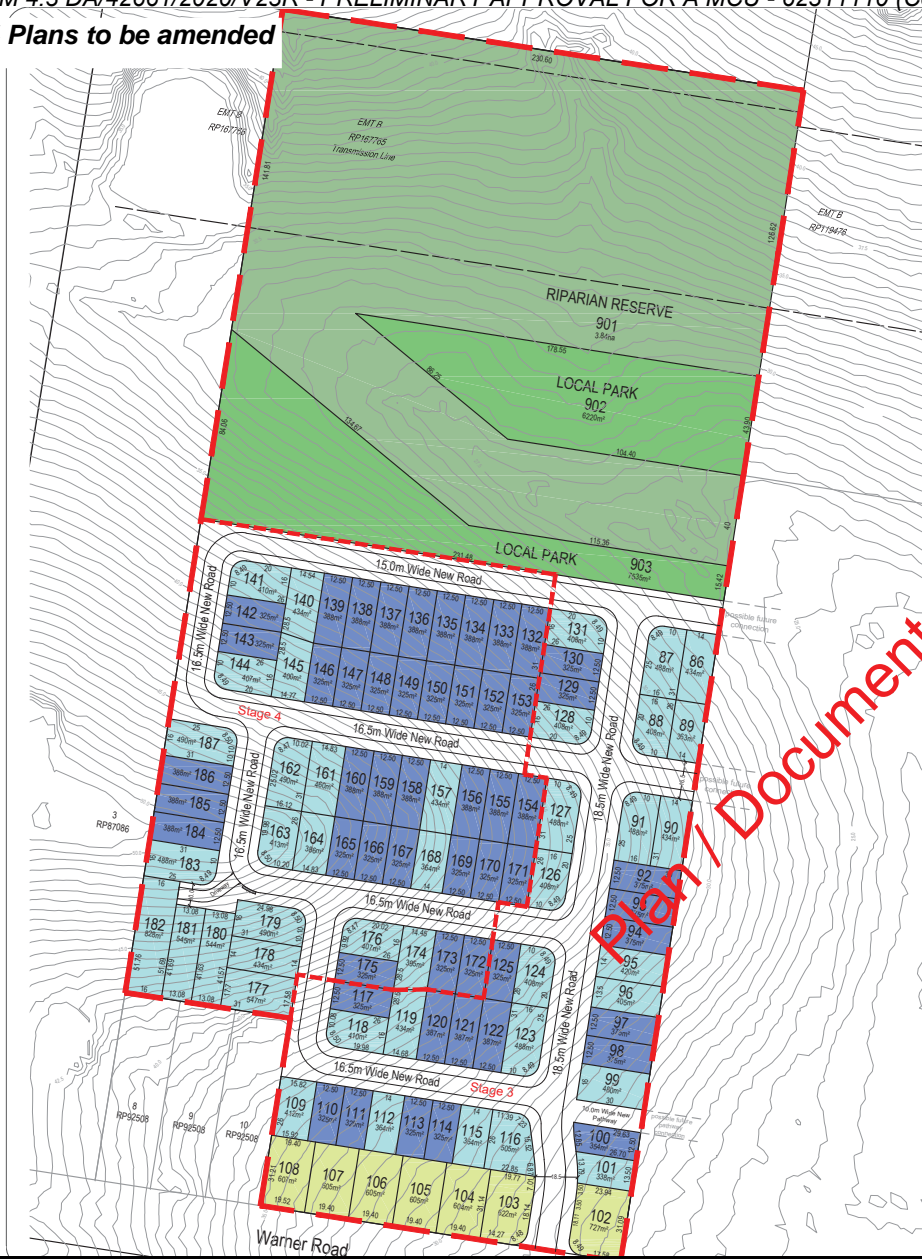
IMAGERY



1. FEATURE ESTATE FENCING
2. INDICATIVE ENTRY WALL
3. FOOTPATH
4. MASS REHABILITATION
5. BOLLARDS
6. REHABILITATION
7. REVEGETATED SWALE
8. TYPICAL LOT FENCING
9. FEATURE KOALA EXCLUSION FENCING
10. FEATURE KOALA EXCLUSION FENCING
11. STANDARD KOALA EXCLUSION FENCING OPTION
12. PLAYGROUND
13. TURF KICK-A-BOUT
14. DOG OFF LEASH AREA
15. PARK SHELTER

ITEM 4.3 DA/42661/2020/V23R - PRELIMINARY APPROVAL FOR A MCU - 62311110 (Cont.)

#4 Plans to be amended



LEGEND

Subject Property boundary	—
Possible Stage boundary	- - -
Indicative Riparian Reserve	—
Indicative Local Park	—
Bin Pads	—

DEVELOPMENT SUMMARY - LOTS

Total number of Residential lots	102
Total number of Riparian Reserve lots	1
Total number of Local park lots	2
Total number of lots	105

DEVELOPMENT SUMMARY - LAND USE

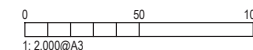
Total Site area	11.4ha
Approx. area of Residential lots	4.19ha
Approx. area of Local park	1.38ha
Approx. area of Riparian Reserve	3.84ha
Approx. area of new road	1.99ha

NET RESIDENTIAL DENSITY

Total no. of proposed Residential lots	102
Total area (excluding Riparian Reserve lot)	7.56ha
Approx. net residential density	13.49du/ha

YIELD SUMMARY

MBRC Lot Type	Lot Frontage	Number of Lots	%
Type A	7.5m	0	0.0%
Type B	>7.5m-10m	0	0.0%
Type C	>10m-12.5m	53	52.0%
Type D	>12.5m-18m	42	41.2%
Type E	>18.0m-32.0m	7	6.9%
Type F	32.0m+	0	0.0%
Total		102	100%



CLIENT
Ausbuild Development Corp
Pty Ltd

PROJECT
Subdivision Plan

Warner Road, Warner

1/RP92508

AMENDMENTS:	DATE:
A Original	28.08.2020
B Amend layout	07.12.2020
C Amend lots 119 / 174 + 178 + 140 / 145	31.05.2021
D	
E	
F	
G	
H	

DESIGNED: KS	DATE: 31.05.2021
DRAWN: KS	DATE: 31.05.2021
SCALE: 1:2,000 @ A3	1 of 1

IMPORTANT NOTES:
This note is an integral part of this plan. This plan may not be reproduced without this note.

This plan was prepared for a Development Application. This plan should not be used for any other purposes.

This plan remains subject to, but not limited to, authority approval, detail design and final survey.

The total number of lots shown on this plan is approximate only.

No relevance should be placed on the information on this plan for any financial dealings involving the land.

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DRAWING NUMBER:
18-0083-PP6

ISSUE:
C



Flood Assessment and Stormwater Management Plan

Lot 1 on RP92508 Warner Road, Warner

Ausbuild Development Corp Pty Ltd

24 February 2021

Plan / Document to be amended



**Note - due to size constraints, Submitters List ONLY is provided.
Full submissions are available on DA tracker, or by request if
required.**

	Full Name	Address
1.	28 Degrees S Environmental	131 Robertson Street FORTITUDE VALLEY QLD 4006
2.	Aaron Delaney	47 Noreen Street CHAPEL HILL QLD 4069
3.	Aaron Kedwell	75 Froude Street BANYO QLD 4014
4.	Aaron Wilkie	PO Box 6130 YATALA QLD 4207
5.	Abbas Khosrani	5 Hinkley Street BRAY PARK 4500
6.	Adam Stokes	4 Valencia Court EATONS HILL QLD 4037
7.	ADC Group 10	2 Pittwin Road North CAPALABA QLD 4157
8.	ADC Group 11	2 Pittwin Road North CAPALABA QLD 4157
9.	ADC Group 12	2 Pittwin Road North CAPALABA QLD 4157
10.	ADC Group 13	2 Pittwin Road North CAPALABA QLD 4157
11.	ADC Group 14	2 Pittwin Road North CAPALABA QLD 4157
12.	ADC Group 15	2 Pittwin Road North CAPALABA QLD 4157
13.	ADC Group 2	2 Pittwin Road North CAPALABA QLD 4157
14.	ADC Group 3	2 Pittwin Road North CAPALABA QLD 4157
15.	ADC Group 4	2 Pittwin Road North CAPALABA QLD 4157
16.	ADC Group 5	2 Pittwin Road North CAPALABA QLD 4157
17.	ADC Group 6	2 Pittwin Road North CAPALABA QLD 4157
18.	ADC Group 7	2 Pittwin Road North CAPALABA QLD 4157
19.	ADC Group 9	2 Pittwin Road North CAPALABA QLD 4157
20.	ADC Group No 8 Pty Ltd	PO Box 246 CAPALABA QLD 4157
21.	Adrian &M Sheehy	25 Links Crescent JOYNER QLD 4500
22.	Adrian Astill	4 Green Hills Drive SILVERDALE
23.	Adrian Astruc	PO Box 1496 POTTS POINT NSW 1335
24.	Adrian Tynan	49 Barambah Circuit WARNER QLD 4500
25.	Adrienne Plummer	127 Wellington Street ORMISTON
26.	Aiden Molloy	52 Wagtail Place WARNER QLD 4500
27.	Ainsley Eenink	5 Corzac Street NARANGBA QLD 4504
28.	Alan Erlandsen	16 Whimbrel Street WARNER QLD 4500
29.	Alan Martens	367 Spring Mountain Drive GREENBANK
30.	Alan Robertson	5 Monica Court EATONS HILL QLD 4037
31.	Aleesha Pene	3 Bearcat Court BRAY PARK QLD 4500
32.	Alejandro Stoute	5/20 Kate Street CARINA QLD 4152
33.	Alex Wheeler	2102/1328 Gold Coast Highway PALM BEACH
34.	Alexander Cole	6 Rigney Street UNDERWOOD
35.	Alexander Klibschon	36 Scott Street DEAGON QLD 4017
36.	Ali Reza	Unit 1 38 Longlands Street EAST BRISBANE QLD 4169
37.	Ali Rezael	Unit 1 38 Long Bark Street EAST BRISBANE QLD 4169
38.	Alicia Black	83 Thomas Street BIRKDALE QLD 4159
39.	Alicia Richards	25 Bayberry Crescent Warner 4500
40.	Allison Coe	44 Sandalwood Street THORNLANDS QLD 4164
41.	Alyza Dealy-Waddell	67B Tibrockney Street HIGHETT VIC
42.	Amanda Flynn	11/17 Kent Street Richmond Vic 3121
43.	Amanda Hamilton	7 Tattler Street Warner Qld 4500
44.	Amanda Lupton	2 Wenlock Court Murrumba Downs Qld 4503
45.	Amanda Springham	12 Higgs Circuit WYNNUM WEST
46.	Amie Wilcox	9 Hemlock Street Warner QLD 4500

47.	Amy McCaul	3 Starling Street Warner 4500
48.	Andiworth Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
49.	Andrew Crain	41 Waterline Cres BULIMBA QLD 4171
50.	Andrew Flett	43 Fleet Circuit Bray Park QLD 4500
51.	Andrew Hartifel	52 Moor Court Warner Qld 4500
52.	Andrew Ivone	3 The Mews WATERWAYS VIC 3195
53.	Andrew Johnston	8 Jennifer Close Yugar 4520
54.	Andrew McKerrow	7 Greenfield Road CAPALABA QLD 4157
55.	Andrew Robinson	11 Birtwistle Street SOUTHPORT QLD 4215
56.	Andrew Skerman	8/48 Thistle Street Lutwyche Qld 4030
57.	Andy King	99 Lytton Road BULIMBA QLD 4171
58.	Angelia Lang	10/20 Freeth Street East Ormiston Qld 4160
59.	Angus Pullen	6 Gardenia Circuit HEATHWOOD QLD 4110
60.	Anjila Narayan	58 Whimbrel Street Warner QLD 4500
61.	Anneliese Hibel	13 Kentwood Drive Bray Park QLD 4500
62.	Annette Jewell	4 Cashes Road Cashmere Qld 4500
63.	Annu Singh	4 Aldershot Street SUNNYBANK QLD 4109
64.	Anthony Lee	1231 Anzac Avenue KALLANGUR QLD 4503
65.	Anthony M Pregelj	23 Whimbrel Street WARNER QLD 4500
66.	Anthony Miller	15 Karall Street ORMEAU QLD 4208
67.	Anthony Pene	3 Bearcat Court Bray Park Qld 4500
68.	APD Holdings No 1 Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
69.	April Whittam	11 Hollins Crescent New Farm Qld 4005
70.	Arabella Rocha	Unit 904 18 Longland Street NEWSTEAD QLD 4006
71.	Ardyne Griffith	101 Pioneer Road SHELDON QLD 4157
72.	Asha Crombie	48 Warner Road Warner Qld 4500
73.	Ashleigh Willis-Clark	Unit 1 20 Huntly Place REDLAND BAY QLD 4165
74.	Ashley McMullen	38 Phillip Parade Deception Bay 4508
75.	Ashton Jones	41 Flinders Way ALBANY CREEK QLD 4035
76.	Audie Enkera	15-17 Captain Whish Avenue MORAYFIELD QLD 4506
77.	Ausbuild Development Corp No. 10 Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
78.	Ausbuild Development Corp No. 11 Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
79.	Ausbuild Development Corp No. 3 Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
80.	Ausbuild Development Corp No. 5 Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
81.	Ausbuild Development Corp No. 8 Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
82.	Ausbuild Development Corp No. 9 Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
83.	Ausbuild Developments Corp No. 4 Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
84.	Ausbuild Developments Corp No. 7 Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
85.	Ausbuild Group Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
86.	Ausbuild Land Corp Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157

87.	Ausbuid Partners Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
88.	Ausbuid Plus Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
89.	Ausbuid Projects Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
90.	Ausbuid Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
91.	Ava Mandich	22 Marlton Street Tarragindi 4121
92.	Avalon Walker	267 Todds Road Lawnton 4501
93.	Aynslee Bell	7 Roundelay Court Eatons Hill QLD 4027
94.	Barbara Antoniou	3 Glenview Road DONCASTER EAST VIC 3109
95.	Barry Clayton	94 Warner Road Warner Qld 4500
96.	Barry Comerford	36 Rossiter Street Morningside QLD 4170
97.	Barry Conroy	13 Lilly Pilly Place REGENCY DOWNS QLD 4341
98.	Barry Elwick	28 Paddy Road WARNER QLD 4500
99.	Barry Hibbs	59 Blackwood Road Deagon 4017
100.	Barry J Devine	12 Dover Court BURPENGARY EAST QLD 4505
101.	Ben Cameron	28 Tosca St CASHMERE QLD 4500
102.	Ben Campbell	157 Turner Street Scarborough Qld 4020
103.	Ben Dorling	25 Bayberry Crescent Warner Qld 4500
104.	Ben Williams	15 Panorama Street ASHGROVE QLD 4065
105.	Bernard J Martland	PO Box 597 KALLANGUR QLD 4503
106.	Beth Rounsefell	5 Starling Street WARNER QLD 4500
107.	Betty Walters	47 Warner Road Warner 4500
108.	Bev Hughes	3 Gould Street Lawnton Qld 4501
109.	Bill Bennie	27 Minerva Court Eatons Hill Qld 4037
110.	Bower	88 Birdwood Road Carina Heights QLD 4152
111.	Brad Birtwell	55 Winchester Road Alexandra Hills Qld 4161
112.	Brad Low	58 California Drive OXENFORD QLD 4210
113.	Bradley De Araugo	3A Burmah Boulevard REDLAND BAY QLD 4165
114.	Brendan Flynn	71 Nimmo Street Essendon Vic 3040
115.	Brendan McLean	38 Devona Street Aspley Qld 4034
116.	Brent Fletcher	9 Classic Court ALEXANDRA HILLS
117.	Brent Stormont	911 Waterworks Road The Gap Qld 4061
118.	Brett Fletcher	2 Pittwin Road North CAPALABA QLD 4157
119.	Brett Scott	18 Cleves Street BEENLEIGH QLD 4207
120.	Brian Lynch	Unit 4 35 Burrai Street MORNINGSIDE QLD 4170
121.	Brian Pilkington	14 Ravensthorpe Street Ormeau Qld 4208
122.	Brian Thake	24 Whimbrel Street Warner 4500
123.	Brian Thomas	28 Wickham Street Brighton 4017
124.	Brittany Walker	55 Cooloola Circuit Warner Qld 4500
125.	Brock Dean	9 Youngs Crossing Road JOYNER QLD 4500
126.	Bronwyn Ogden	47 Warner Road Warner Qld 4500
127.	Bronwyn Wright	8 Mascotte Court Eatons Hill Qld 4037
128.	Brooke Dean	32 Starling Street Warner QLD 4500
129.	Brooke Mackenzie	10 Whimbrel Street Warner QLD 4500
130.	Bryan Norwood	6 Pinches Court Bray Park Qld 4500
131.	Cailen Royston	94 Warner Road Warner Qld 4500
132.	Caitlyn Flynn	8 Clyde Bank Road Essendon Vic 3040
133.	Caitlyn Thibou	35 Settler Court Delaneys Creek 4514
134.	Callum Mellor	34 Starling Street Warner Qld 4500

135.	Cameron Hancock	58 Lamley Street UPPER MOUNT GRAVATT QLD 4122
136.	Cameron Marshall	45 Warner Road Warner QLD 4500
137.	Cameron Van Doorn	25 Northcliffe Street MURARRIE QLD 4172
138.	Caragh Cooper	5 Rothschild Street Eatons Hill Qld 4037
139.	Care Dental Cashmere	Shop 9, 1 Warra Lane Cashmere Qld 4500
140.	Carey & L Proctor	100 Warner Road WARNER QLD 4500
141.	Carl Mackenzie	10 Whimbrel Street Warner QLD 4500
142.	Carla Crawford	8 Fred Street CAMP HILL QLD 4152
143.	Carla Tomlinson	140 Patricks Road Arana Hills Qld 4054
144.	Carol Cornish	1 Raven Court Warner Qld 4500
145.	Carol Mellor	34 Starling Street Warner Qld 4500
146.	Carol Stephens	96 Swan Parade Warner Qld 4500
147.	Casey Byron	5 Paddy Road WARNER QLD 4500
148.	Casey Towers	5 Hemlock Street Warner Qld 4500
149.	Cassandra Aird	15 Oatlands Court Wights Mountain Qld 4520
150.	Catherine Stuart - Russell	19 Paddy Road WARNER QLD 4500
151.	Chantel Low	58 California Drive OXENFORD QLD 4210
152.	Chantelle Stiege	5 Paradise Court Eatons Hill Qld 4037
153.	Charlotte Rose	48 Bailey Street Woody Point Qld 4019
154.	Charmaine Hills	44 Whimbrel Street WARNER QLD 4500
155.	Chelsea Crawford	26/82 Boundary Street Brisbane Qld 4000
156.	Chelsea Loney	34 Raby Bay Boulevard CLEVELAND QLD 4163
157.	Chloe Frieditis	6 Cooberrie Street CORNUBIA QLD 4130
158.	Chloe Ryan-Uhlich	34 Witzow Street Tarrangindi QLD 4121
159.	Chloe Scott	35 Oakmere Street NUDGEES QLD 4014
160.	Chris Easton	996 Mount Samson Road Samsonvale QLD 4520
161.	Chris Hartley	16 Hausmann Court WINDAROO QLD 4207
162.	Chris Moore	40 Hocking Street CLAYFIELD QLD 4011
163.	Chris Sheen	43 Bailey Street Woody Point Qld 4019
164.	Chris Thaow	51 Lamberth Road East Heritage Park Qld 4118
165.	Chris Tritton	5/18 Victoria Pde CLAYFIELD QLD 4011
166.	Christina Cude	105 Hunt Road Burpengary QLD 4505
167.	Christine Kropp	25 Gowrie Street Brendale Qld 4500
168.	Christine Redman	23 Everest Street Warner Qld 4500
169.	Christine West	32 Lowan Street Warner Qld 4500
170.	Cindy Bowman	3 Bonney Court Warner QLD 4500
171.	Claire-Maree Harvey	23 Ellis Street LAWNTON QLD 4501
172.	Clive Fox	15 Princess Street Marsden Qld 4132
173.	Colin Hand	5 Sandown Court Lawnton Qld 4501
174.	Colin Hohenhans	9 Lowan Street Warner 4500
175.	Colin Wheeler	103/1 Lennie Avenue Mainbeach QLD 4217
176.	Colleen Stormont	911 Waterworks Road The Gap Qld 4061
177.	Conor Jones	2 Langhorne Crescent ROWVILLE
178.	Corey Ellis	34 Whimbrel Street Warner Qld 4500
179.	Corey Pregelj	23 Whimbrel Street Warner QLD 4500
180.	Corinne Nelson	15 Kanangra Crescent PACIFIC PINES QLD 4211
181.	Craig Balfour	7 Whimbrel Street Warner Qld 4500
182.	Craig McDonnell	3 Pandanus Court Kallangur QLD 4503

183.	Craig Smith	28 Montego Court Eatons Hill
184.	Cranston Mellor	34 Starling Street Warner QLD 4500
185.	Cung None Provided	10 Akama Road Durack QLD 4077
186.	Cyrus Loscialpo	86 Bronzewing Crescent DECEPTION BAY QLD 4508
187.	Damien Guest	216 Frances Road Lawnton Qld 4501
188.	Damien O'Halloran	49 Windsor Street SLACKS CREEK QLD 4127
189.	Dan Collins	49 Beazley Circuit Bridgeman Downs Qld 4035
190.	Dane Adams	12 Terben Street Warner Qld 4500
191.	Dani Tarau	25 Gardiner Road Holmview Qld 4207
192.	Daniel Bell	195 Avalon Road Sheldon Qld 4156
193.	Daniel Kuhnert	2 Roslyn Street Burpengary Qld 4505
194.	Daniel Petersen	8 Hester Court Mount Crosby QLD 4306
195.	Daniel Sydes	3 Fantail Street WARNER QLD 4500
196.	Danielle Burns	62 Old Orchard Drive PALMWOODS QLD 4555
197.	Danielle L Martin	14 Paddy Road WARNER QLD 4500
198.	Danielle Pickering	62 Cameron Street NUNDAH QLD 4012
199.	Danielle Rattenbury	Unit 5 42 Beatrice Street TARINGA QLD 4068
200.	Danielle Sigvart	3 Finchley Court TAIGUM
201.	Danny Thornton	6 Whimbrel Street Warner 4500
202.	Darcy Bunting	6 Ann Maree Drive Caboolture Qld 4510
203.	Darcy Norman	7/145 Northcote Street Brighton Qld 4017
204.	Darcy Pettigrew	193 Waterloo Street None Provided
205.	Darren Bowe	21 Oakland Avenue Redland Bay Qld 4135
206.	Darren Burton	8 Apple Circuit Griffin Qld 4503
207.	Darren Clough	105 Point Cartwright Drive BUDDINA QLD 4575
208.	Darren Papworth	10 Plateau Parade Bray Park Qld 4500
209.	Dave Edwards	28 Piccabeen Court NARANGBA QLD 4504
210.	David Carmody	18 Will Street Bellmere Qld 4510
211.	David Crettenden	20 Whitwood Road Ebbw Vale Qld 4304
212.	David Fry	16 William Street Waterford West Qld 4133
213.	David MacGregor	65 Warner Road Warner Qld 4500
214.	David Martin	14 Paddy Road Warner QLD 4500
215.	David Saunders	40 Beerwah Parade Kallangur QLD 4103
216.	David Scheiwe	148 Armstrong Road Cannon Hill Qld 4170
217.	David Skafte	12 Parkdale Street Woodridge Qld 4154
218.	David T Simpson	110 Warner Road WARNER QLD 4500
219.	Dean Barwick	2 Pittwin Road North CAPALABA QLD 4157
220.	Dean Pregelj	23 Whimbrel Street Warner Qld 4500
221.	Dean Richardson	154 Nathan Vale Drive Mount Nathan Qld 4211
222.	Dean Terreit	20 Standish Street North Lakes
223.	Dean Thompson	7 Shasta Court CASHMERE QLD 4500
224.	Deb Gaiger	8 Apple Circuit Griffin Qld 4503
225.	Debbie Morris	160 Bancroft Terrace Deception Bay Qld 4508
226.	Debbie Nimmo	2 Starling Street WARNER QLD 4500
227.	Debra Ridderbeks	10 Kym Court Bray Park QLD 4500
228.	Della Robertson	5 Monica Court Eatons Hill Qld 4037
229.	Denise Armstrong	12 Tenzing Court WARNER QLD 4500
230.	Desrae Senior	9 Kate Street SHORNCLIFFE QLD 4017
231.	Di Batchelor	73 Boondooma Circuit Albany Creek QLD 4035

232.	Diane Drew	40 Whimbrel Street WARNER QLD 4500
233.	Dianne Clague	44 Sterling Street Warner Qld 4500
234.	Dimity Pearson	28 Kitchener Road ASCOT QLD 4007
235.	Dominic Coy	37 Corvus Drive Cashmere QLD 4500
236.	Don Mayne	60 Oakley Street Carindale Qld 4152
237.	Donato Turro	54 Borambil Road Shailer Park Qld 4128
238.	Donna Amaraddio	3 Beth Court Warner Qld 4500
239.	Donna M Ogle	6 Paddy Road WARNER QLD 4500
240.	Donna Sharp	846 Teviot Road SOUTH MACLEAN QLD 4280
241.	Douglas Aird	16 Blackthorne Street ORMISTON QLD 4160
242.	Drew Barrimore	74 White Street Everton Park Qld 4053
243.	Dylan Bowker	PO Box 163 CLAYFIELD QLD 4011
244.	Dylan Cormie	5 Barden Ridge Road Reedy Creek Qld 4227
245.	Dylan Milton	13 Fiddlewood Street VICTORIA POINT QLD 4165
246.	Dylan Richmond	101 Hummingbird Drive BOTANIC RIDGE VIC 3977
247.	Eddie White	28 Swift Drive COOROY QLD 4563
248.	Eden Watts	2 Alpinia Court ALBANY CREEK QLD 4035
249.	Eleanor Cox	5 Hemlock Street Warner Qld 4500
250.	Elizabeth Kruger	130 Junction Road Morningside QLD 4170
251.	Ellynn McNee	177 Queens Parade Brighton Qld 4017
252.	Elone Lolo	175/39 Fryar Road Eagleby Qld 4207
253.	Emily Bousen-Groessler	62 Whimbrel Street Warner Qld 4500
254.	Emma Barning	11 Arcadia Circuit Yarrabilba QLD 4207
255.	Emma Crane	17 Edwards Drive Albany Creek Qld 4035
256.	Emma Crombie	48 Warner Road Warner Qld 4500
257.	Emma Sweeney	121 Silkwood Street ALGESTER QLD 4115
258.	Eric Moseley	1 Cessnock Court CABOOLTURE
259.	Eric Whitlock	105 Warner Road Warner Qld 4500
260.	Ester Biffaro	80 Carbine Street DONCASTER EAST VIC 3109
261.	Fabio Loscialpo	86 Bronzewing Crescent DECEPTION BAY QLD 4508
262.	Farmer	28 Emerald Street MARSDEN QLD 4132
263.	Felicity Johnson	46 Lowan Street WARNER QLD 4500
264.	Filip Oosterbeek	81 Brindabella Circuit THORNLANDS QLD 4164
265.	Fiona &D Pritchard	23 Greenview Drive UPPER COOMERA QLD 4209
266.	Fiona Findlater	20 Standish Street North Lakes QLD 4509
267.	Ford Maddie	27 Essex Road Indooroopilly Qld 4068
268.	Frank Agostino	23 Greenview Drive DONCASTER EAST VIC 3109
269.	Frederick J Hills	44 Whimbrel Street WARNER QLD 4500
270.	Gabriel Pumnut	178 Dairy Creek Road WATERFORD QLD 4133
271.	Gabrielle Roser	11 Coral Pea Close Warner QLD 4500
272.	Gardner Andrew	2310/5 Harbourside Court Biggera Waters Qld 4216
273.	Garth Davis	4 Santa Ana Mews Currambine WA 6028
274.	Gary Rohan	18 Golden Court WARNER QLD 4500
275.	Gaye Parker	727 Gympie Road Lawnton QLD 4501
276.	GL Hair Co	Shop 4 1 Warra Lane CASHMERE QLD 4500
277.	Glen Kaminski	52 Wagtail Place Warner Qld 4500
278.	Glen N Kaminski	52 Wagtail Place WARNER QLD 4500
279.	Gordon Savic	3-5 Claire Close CASHMERE QLD 4500
280.	Grace Brooks	22 Rauburn Street Thornlands Qld 4164

281.	Graham Bell	560 Grassdale Road Gumdale Qld 4154
282.	Grant Sheldrake	44 Sandalwood Street THORNLANDS QLD 4164
283.	Grant Weilly	13 Ravenna Street Springwood Qld 4127
284.	Grayson Stone	7 Cane Road Ormeau Qld 4208
285.	Greg Nosking	32 Trevwa Crescent MT WARREN QLD 4207
286.	Greg Poole	37 Morland Street Upper Mt Gravatt Qld 4122
287.	Gregory Hand	16 Rensington Way Strathpine 4500
288.	Gregory J Lukin	46 Starling Street WARNER QLD 4500
289.	Gregory Robinson	55 Goshawk Drive KALLANGUR QLD 4503
290.	Hamilton Byrne	43 Anne Street SOUTHPORT
291.	Hamish Brennan	119 Bellini Road Burpengary Qld 4505
292.	Hamish Dolan	198 Ferny Avenue Surfers Paradise Qld 4217
293.	Hannah Bray	2/8 Gamble Street Wavell Heights Qld 4012
294.	Hayden Kenwick	14 Raven Court Warner Qld 4500
295.	Haydin Elsebach	69 Esplanade Golden Beach QLD 4551
296.	Heather Sawyer	9 Curlew Court Warner QLD 4500
297.	Helen Clinton	2 Witt Street BANYO QLD 4014
298.	Helena Jokic	8 Corvus Drive CASHMERE QLD 4500
299.	Henry Stanley	3 Creekwood Court Warner QLD 4500
300.	HG Ainsworth	65 Warner Road Warner Qld 4500
301.	Holly Crilly	13 Nandina Street Alexandra Hills Qld 4001
302.	Holly Workman	10 Marjorie Street Thorneside Qld 4158
303.	Hollyoak, D& Penola, Floyd	10 Pauli Court WARNER QLD 4500
304.	Hugh Williams	78 Raven Court Warner Qld 4500
305.	Ian Anderson	Unit 28 5 Pine Valley Drive JOYNER QLD 4500
306.	Ian Crane	17 Edwards Drive Albany Creek 4035
307.	Ian Ryan	1005/6 Wharf Street Maroochydore Qld 4558
308.	Irene Coventry	5 Cockatoo Court Warner Qld 4500
309.	Jack &M Johnson	7 Deloraine Drive BUDERIM QLD 4556
310.	Jack McCaul	3 Starling Street Warner 4500
311.	Jackie Gilvern	10 Cressbrook Drive ALBANY CREEK QLD 4035
312.	Jacob Girling	6 Kim Jon Court THORNLANDS QLD 4164
313.	Jacob Smith	22 Lowan Street WARNER QLD 4500
314.	Jacqueline Brady	8 Langham Crescent North Lakes Qld 4509
315.	Jacqueline Harrocks	11 Lancaster Street STRATHPINE QLD 4500
316.	Jacqueline J Lynch	8 Markwell Court PETRIE QLD 4502
317.	Jada Black	83 Thomas Street BIRKDALE QLD 4159
318.	Jae Parla	2841 Wylarah Way Hope Island QLD 4212
319.	Jake Donnan	10/24 Dunmore Terrace Auchenflower Qld 4066
320.	Jake Tartaglia	6 Rigney Street UNDERWOOD
321.	Jake W Oldfield	28 Whimbrel Street WARNER QLD 4500
322.	James Elliott	89 Lake Serenity Boulevard Helensvale Qld 4212
323.	James Mitchell	44 Warner Road Warner 4500
324.	James Ogden	47 Warner Road Warner 4500
325.	James Platell	311 Loganview Road North Logan Reserve Qld 4133
326.	James Rose	150 Warner Road Warner Qld 4500
327.	James Rye	13 Starling Street Warner Qld 4500
328.	James Shewan	99 Short Street BORONIA HEIGHTS QLD 4124 BORONIA HEIGHTS QLD 4124

329.	James Trainor	58 Watts Drive VARSITY LAKES QLD 4227
330.	James Vonhoff	39 Broadsea Avenue Maroochydore Qld 4558
331.	James West	32 Lowan Street Warner Qld 4500
332.	James Wright	98 Hodgskin Street Caboolture Qld 4510
333.	Jamie Alexander	64 Dundee Street Bray Park Qld 4500
334.	Jamie Fyfe	7 Merrigal Court FRANKSTON SOUTH VIC 3199
335.	Jamie George	17 Shannon Place DECEPTION BAY QLD 4508
336.	Jamie Lucas	31 Arkwright Street THORNLANDS QLD 4164
337.	Jamie Rose	102 Kelvin Grove Road Kelvin Grove Qld 4059
338.	Jan Duneen	62 Lowan Street Warner QLD 4500
339.	Jan Wockner	26 Flinders Way ALBANY CREEK QLD 4035
340.	Janelle Bull	108 Warner Road Warner Qld 4500
341.	Janelle Smith	26 Paddy Road Warner QLD 4500
342.	Janet B Kunde	156 Warner Road WARNER QLD 4500
343.	Janis Costelloe	2 Paddy Road WARNER QLD 4500
344.	Jardin Ryan	5 Lady Guinevere Court MURRUMBA DOWNS
345.	Jareth Oades-Gularte	Thirteenth Avenue Kedron Qld 4031
346.	Jarrod Gray	62 Lowan Street Warner Qld 4500
347.	Jarrod Werner	53 Schooner Circuit Manly West Qld 4179
348.	Jase Campbell	93 Ferny Way Ferny Hills 4055
349.	Jasmin Anderson	Lot 5 994 Mt Samson Road Samsonvale
350.	Jasmine Burton	23 Thorson Street CABOOLTURE QLD 4510
351.	Jasmine Hills	44 Whimbrel Street Warner 4500
352.	Jasmine Kuhnert	2 Roslyn Street Burpengary Qld 4505
353.	Jason Ferguson	39 Cairns Street Kangaroo Point Qld 4169
354.	Jason Solomon	65 Enterprise Street CLEVELAND QLD 4163
355.	Jasson Roser	11 Coral Pea Close Warner
356.	Jayden Field	40 Whimbrel Street Warner QLD 4500
357.	Jean C Laverdure	24 Sonata Drive WARNER QLD 4500
358.	Jeanette Daff	37 Bowen Avenue Albany Creek Qld 4035
359.	Jeanette Frewin	33 Paddy Road Wamuran Qld 4500
360.	Jeanette M Campbell	8 Jennifer Close Yugar 4720
361.	Jeff Hong	20 Logan Avenue Oxley Qld 4075
362.	Jeffrey Plater	61 Muriel Street Redland Bay Qld 4165
363.	Jeffrey Quine	369 Leitches Road Strathpine 4500
364.	Jenifer McGregor	1 Paddy Road WARNER QLD 4500
365.	Jennifer A McDonald	5 Lamaur Street WARNER QLD 4500
366.	Jennifer Gregg	28 Paddy Road Warner 4500
367.	Jennifer Mahers	7 Tammy Court Eatons Hill QLD 4037
368.	Jennifer Swan	119 Hulcombe Road Highvale Qld 4520
369.	Jenny Hughes	28 Tourmaline Avenue PEARL BEACH NSW 2256
370.	Jenny van Holst Pellekaan	43 Glorious Drive Burpengary Qld 4505
371.	Jeremy Sharpe	114 Beeville Road PETRIE QLD 4502
372.	Jesse Simms	44 Whimbrel Street Warner QLD 4500
373.	Jessica Roberts	Level 19, 480 Queen Street Brisbane Qld 4000
374.	Jim & S Gray	62 Lowan Street Warner QLD
375.	Jim Francis	81 Lumley Street UPPER MOUNT GRAVATT QLD 4122
376.	Jingjing Liu	181 Elizabeth Street Brisbane Qld 4000

377.	Joan Dean	9 Youngs Crossing Road JOYNER QLD 4500
378.	Joan Tester	11 Diana Court Eatons Hill QLD 4037
379.	Joanne Kaminski	52 Wagtail Place Warner Qld 4500
380.	Joe Amaraddio	3 Beth Court Warner QLD 4500
381.	Joesph Bailes	6 Nolina Court Indooroopilly Qld 4068
382.	John Bartlett	Shop 5, 720 Albany Creek Road ALBANY CREEK QLD 4035
383.	John Biffaro	80 Carbine Street DONCASTER EAST VIC 3109
384.	John Espig	77 Albert Street GOODNA QLD 4300
385.	John Griffith,	101 Pioneer Road, Sheldon Qld 4157
386.	John Guest	45 Whimbrel Street Warner QLD 4500
387.	John Kieboom	30 Cumberland Place Parkinson Qld 4115
388.	John Lupton	2 Wenlock Court Murrumba Downs Qld 4503
389.	John McGregor	1 Paddy Road Warner Qld 4500
390.	John Pappas	123 Brisbane Street Bulimba QLD 4171
391.	John Rankin	10 Churchill Street Coolangatta Qld 4225
392.	John Smith	14 Burne Crescent FERNY HILLS QLD 4055
393.	John Wright	8 Mascotte Court Eatons Hill Qld 4037
394.	Jonathan East	150 Nelson Street Kalinga Qld 4030
395.	Jordan Gilks	32 Flinders Way Albany Creek Qld 4035
396.	Jordan Tartaglia	6 Rigney Street UNDERWOOD
397.	Joshua Barwoh-Parr	Unit 2 29 Bunya Road Arana Hills Qld 4054
398.	Julian West	32 Lowan Street WARNER QLD 4500
399.	Julie Thornton	6 Whimbrel Street WARNER QLD 4500
400.	Julie-Ann Walker	18 Neville Road BRIDGEMAN DOWNS QLD 4035
401.	Junwoonq Kim	237 Turton Street SUNNYBANK QLD 4109
402.	Justin Andrew	35 Wyalo Circuit Parkinson Qld 4115
403.	Justin Beduhn	24 Ridgewood Court Burleigh Waters Qld 4220
404.	Justin Uzelac	10 Mirram Street Boondall Qld 4034
405.	Kaelan Turnbull	4/26 Western Avenue CHERMSIDE QLD 4032
406.	Kaine Crombie	48 Warner Road Warner Qld 4500
407.	Kaitlyn Ross	32 Bella Street CASHMERE QLD 4500
408.	Kane &N Clague	44 Starling Street Warner Qld 4500
409.	Kane Sawyer	9 Curlew Court Warner
410.	Kang Lee	2 Ribbonwood Street SUNNYBANK HILLS QLD 4109
411.	Karen Coombs	44 Marina Court Eatons Hill Qld 4037
412.	Karen J Sauffs	15 Middle Barten Court BRAY PARK QLD 4500
413.	Karen Papworth	17 Plateau Parade Bray Park Qld 4500
414.	Karen Ross	60 Benecia Street Wavell Heights Qld 412
415.	Karin L Machell	6 Kimberley Court EATONS HILL QLD 4037
416.	Karrinda Moodley	16 Karrawarra Place TINGALPA
417.	Kate Amos	31 Jarrow Street Tingalpa Qld 4173
418.	Kate Lupton	13 Tattler Street Warner Qld 4500
419.	Kate Mathias	25 Mahogany Drive Albany Creek Qld 4035
420.	Katherine Nielsen	193 Herron Road Cedar Creek Qld 4520
421.	Kathryn Mehonoshen	17 Lowan Street Warner Qld 4500
422.	Kathryn Nickel	51 London Street EIGHT MILE PLAINS
423.	Kathy Selkirk	24 Whimbrel Street Warner 4500
424.	Katie Eenink	5 Corzac Street Narangba 4504

425.	Katie Graves	25 Morningview Drive Caboolture Qld 4510
426.	Katie Sydes	3 Fantail Street Warner QLD 4500
427.	Katrina Brown	27 Sarsfield Place Bridgeman Downs Qld 4035
428.	Katrina jackson	42 Lascelles Street Brighton Qld 4017
429.	Katrina Oldfield	28 Whimbrel Street Warner Qld 4500
430.	Katrina Welch	7 Sauterne Street THORNLANDS QLD 4164
431.	Katrinna Robinson	2 Nursery Street WELLINGTON POINT QLD 4160
432.	Kayleen L Carlill	15 Whimbrel Street WARNER QLD 4500
433.	Kaylm Horne	7 Cinnamon Street Griffin QLD 4503
434.	Keith Cairns	34 Castle Hill Drive MURRUMBA DOWNS QLD 4503
435.	Kelly Hobi	1104/510 St Pauls Terrace Bowen Hills Qld 4006
436.	Ken Forbes	4 Barrs Court OXENFORD QLD 4210
437.	Kenneth Adams	12 Terben Street Warner 4500
438.	Kenneth Griffiths	48 Larbonya Crescent CAPALABA QLD 4157 CAPALABA QLD 4157
439.	Kenneth Reilly	35 Wattle Street VICTORIA POINT QLD 4165
440.	Kerby Aleckson	508/1 Aqua Street SOUTHPORT QLD 4215
441.	Kerrie Davies	22 Talisman Court EATONS HILL QLD 4037
442.	Kerry Kuhnert	9/1 Rock Street Scarborough Qld 4020
443.	Kerry Phillips	35 Rolland Parade WARNER QLD 4500
444.	Kerry Saron	414 Brook Street EVERTON PARK QLD 4053
445.	Kerry Simmons	86 Bongaree Ave Bongaree Qld 4507
446.	Kevin Chesney	4 Eucalypt Court Warner 4500
447.	Kevin Cornish	1 Raven Court Warner Qld 4500
448.	Kevin Holt	300 Ardon Road Sheldon Qld 4157
449.	Kevin Tayler	21 Como Crescent Warner QLD 4500
450.	Keyur Thakkar	29 Acomis Street Mackenzie Qld 4156
451.	Kim Christenson	1 Whimbrel Street WARNER QLD 4500
452.	Kim Nakajima	7-9 Miranda Street WARNER QLD 4500
453.	Kirsty Crase	2 Lefroy Court WARNER QLD 4500
454.	Kobus Marais	11 Railway Terrace Goodna Qld 4300
455.	Krischelle Mangalindan	Unit 4, 20 Kathleen Street Richlands Qld 4077
456.	Kristine Eyles	26 Wagtail Place Warner 4500
457.	Kye Jensen	18 Kiwi Street SHELDON QLD 4157
458.	Kylie Conrad	20 Marina Court Eatons Hill Qld 4037
459.	Kylie Devenport	251 German Church Road MT COTTON QLD 4165
460.	Kylie Ebrington	661 South Pine Road Eatons Hill Qld 4037
461.	Kylie Farmer	75 Massie Street Brighton Qld 3186
462.	Kylie Ingram	33 Bella Street Cashmere Qld 4500
463.	Kylie Sheehan	120 Greensill Road ALBANY CREEK QLD 4035
464.	Kylie Williams	78 Raven Court WARNER QLD 4500
465.	Lachlan Akers	28 Wagtail Place Warner 4500
466.	Lachlan Green	1009/6 Christie Court South Brisbane Qld 4101
467.	Lachlan McRae	187 Brighton Road SANDGATE
468.	Lachlan Stewart	62 Whimbrel Street Warner Qld 4500
469.	Lap-Ley Ngo	5 WealAvenue Tarragindi Qld 4121
470.	Larissa Ellis	34 Whimbrel Street WARNER QLD 4500
471.	Larissa Harrison	54 Galatea Street BURPENGARY QLD 4505
472.	Lauchlan Milne	26 Rutherford Street STAFFORD HEIGHTS QLD 4053
473.	Laurie Nipperess	43/34 Monarch Drive Kingscliff Qld 2487

474.	Leah Campbell	17 Currimundi Court Burpengary QLD 4505
475.	Leanne Roser	11 Coral Pea Close Warner QLD 4500
476.	Leanne Royston	94 Warner Road Warner Qld 4500
477.	Leanne Rye	13 Starling Street Warner 4500
478.	Leanne Webster	48 Herbert Street BRIGHTON QLD 4017
479.	Lee B Cude	105 Hunt Road BURPENGARY QLD 4505
480.	Lee Dorling	25 Bayberry Crescent Warner Qld 4500
481.	Lee Naughton	110 Bunya Park Drive EATONS HILL QLD 4037
482.	Leeane Heslin	9 Sarow Drive WARNER QLD 4500
483.	Leevi Royston	94 Warner Road Warner Qld 4500
484.	Leith Gosney	44 Warner Road Warner QLD 4500
485.	Les Clark	8 Troon Court CORNUBIA QLD 4130
486.	Liam Grossler	62 Whimbrel Street Wamuran Qld 4500
487.	Liam Neutze	22 Rauburn Street THORNLANDS QLD 4164
488.	Linda McDonnell	3 Pandarus Court Kallangur 4503
489.	Lindsay Smith	26 Paddy Road Warner Qld 4500
490.	Lisa Bennie	27 Minerva Court Eatons Hill 4037
491.	Lisa Cannon	16 Doherty Court Ormeau Qld 4208
492.	Lisa Green	26 Lisa Street DECEPTION BAY QLD 4508
493.	Lisa Harris	Unit 336 64 Macquarie Street TENERIFFE QLD 4005
494.	Lisa Porter	22 Starling Street Warner Qld 4500
495.	Loney Bell Capital Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
496.	Luke Agostino	23 Greenview Drive DONCASTER EAST VIC 3109
497.	Luke Senior	20 Lottus Street Deagon 4017
498.	Luke Wilcox	9 Hemlock Street WARNER QLD 4500
499.	Lyn O'Brien	13 St. Andrews Court VICTORIA POINT QLD 4165
500.	Lynda Aldridge	50 Peppermint Drive CASHMERE QLD 4500
501.	Lynelle Brandt	28 Montego Court Eatons Hill QLD 4037
502.	Lynne Cairns	34 Castle Hill Drive MURRUMBA DOWNS
503.	M Wills	16 Castlewallan Circuit Warner Qld 4500
504.	Madeline Rye	13 Starling Street Warner Qld 4500
505.	Madonna Ramke	2 Joyce Street REDCLIFFE QLD 4020
506.	Maibritt Dawson	2 Skylark Street Upper Coomera Qld 4209
507.	Malcolm Hall	160 Samford Road Enoggera QLD 4051
508.	Marc Galvin	24 Sandalwood Street Thornlands QLD 4164
509.	Marcia McKenzie	28 Pandora Street ROCHEDALE SOUTH
510.	Margaret Dean	9 Youngs Crossing Road JOYNER QLD 4500
511.	Maria Jones	34 Starling Street WARNER QLD 4500
512.	Marie Watson	4 Beth Court Warner 4500
513.	Mark Clarkson	104 Temple Street Coorparoo Qld 4151
514.	Mark Kurbatoff	66 Denman Street Greenslopes Qld 4120
515.	Mark Lowe	27 Hamilton Street SEDDON VIC 3000
516.	Mark Mason	7 Abercrombie Crescent Upper Coomera Qld 4209
517.	Mark Simon	48 Cobb and Co Drive Oxenford Qld 4210
518.	Marlene Brooks	156 Sanctuary Drive Mount Cotton Qld 4165
519.	Martin Bristow	4 Tahoe Court Thornlands Qld 4164
520.	Martin McCawll	3 Starling Street Warner 4500
521.	Martin Rye	13 Starling Street Warner Qld 4500
522.	Mary Berry	9 Starling Street WARNER QLD 4500

523.	Massimo Turro	9 Narcamus Crescent Shailer Park Qld 4128
524.	Mathew Vanstyn	20 Starling Street Warner Qld 4500
525.	Matt Aherns	PO Box 1116 BEENLEIGH QLD 4207
526.	Matt Crane	17 Edwards Street Albany Creek QLD 4035
527.	Matt Ekin	126 Vienna Road ALEXANDRA HILLS QLD 4161
528.	Matt Senior	9 Kate Street SHORNCLIFFE QLD 4017
529.	Matthew B Sames	15 Janna Court EATONS HILL QLD 4037
530.	Matthew Barlow	34 Warner Street Wellington Point Qld 4160
531.	Matthew Bell	15 Sirius Street Cooparoo Qld 4151
532.	Matthew Evans	20 Matong Street HENDRA QLD 4011
533.	Matthew Loney	2 Pittwin Road North CAPALABA QLD 4157
534.	Matthew Mahoney	181 Acanthus Avenue Burleigh Waters Qld 4220
535.	Matthew McAllister	24/15 Oasis Close Morayfield Qld 4506
536.	Matthew Smith	36 Toorak Street PARKINSON QLD 4115
537.	Maurice Miller	72 Wallum Drive PARKINSON QLD 4115
538.	Max Brunner	8 Mascotte Court Sheldon Qld 4157
539.	Melanie Green	15 Sunningdale Avenue ROCHEDALE SOUTH QLD 4123
540.	Melanie Holman	18 Saraband Drive EATONS HILL QLD 4037
541.	Melinda Brooks	21 Flinders Way Albany Creek QLD 4035
542.	Melinda Leasy	GPO Box 2033 Brisbane Qld 4001
543.	Melissa Goscomb	104 Mein Street HENDRA QLD 4011
544.	Melissa Linkin	46 Starling Street WARNER QLD 4500
545.	Melissa Lukin	46 Starling Street Warner Qld 4500
546.	Mia Bennie	27 Minerva Court Eatons Hill 4037
547.	Michael A Ellis	34 Whimbrel Street WARNER QLD 4500
548.	Michael Butler	Unit 417 430 Marine Pde BIGGERA WATERS QLD 4216
549.	Michael Cameron	42/437 Golden Four Drive Tugun Qld 4224
550.	Michael Evans	121 Silkwood Street ALGESTER QLD 4115
551.	Michael Gleeson	234 Kent Street NEW FARM QLD 4005
552.	Michael Hatzifotis	43 Mountsoy Street Petrie Terrace Qld 4001
553.	Michael I Taylor	132 Rainbow Court DUNWICH QLD 4183
554.	Michael Johnson	16 Pear Street REDLAND BAY QLD 4165
555.	Michael Kilgus	7 Frost Street Clontarf Qld 4019
556.	Michael Oldfield	369 Leitchs Road Strathpine Qld 4500
557.	Michael Reid	25 Morningview Drive Caboolture Qld 4510
558.	Michael Rheinberger	30 Elaroo Street Morningside 4170
559.	Michael Spragg	883 New Cleveland Road Gumdale Qld 4154
560.	Michael Tartaglia	6 Rigney Street UNDERWOOD QLD
561.	Michel Panaioti	57 Corvus Drive CASHMERE QLD 4500
562.	Michelle A Ellis	34 Whimbrel Street WARNER QLD 4500
563.	Michelle A Pregelj	23 Whimbrel Street WARNER QLD 4500
564.	Michelle Cushway	6/25 Brighton Street Biggera Waters Qld 4216
565.	Michelle Greiling	180 Foggs Road Mount Samson Qld 4520
566.	Michelle Long	16 Illawong Crescent Terranora NSW 2486
567.	Michelle Thibou	35 Settler Court Delaneys Creek Qld 4514
568.	Michelle Trost	9 Lowan Street Warner 4500
569.	Mick Murphy	1 Whimbrel Street Warner 4500
570.	Mina Buiatti	51 Cowie Road CARSELDINE QLD 4034

571.	Miriam Simpson	110 Warner Road WARNER QLD 4500
572.	Mitch Howard	24 Rossmore Street NERANG QLD 4211 NERANG QLD 4211
573.	Mohamed Rizan	55 Kennigo Street Spring Hill QLD 4000
574.	Molisiliva Tufuga	16 Boland Court Eatons Hill Qld 4037
575.	Moureen Bennie	31 Whimbrel Street WARNER QLD 4500
576.	Murray Smith	17 Macfarlane Road Munbilla Qld 4309
577.	Naomi P Hahn	24 Golden Avenue KALLANGUR QLD 4503
578.	Narelle Walsh	11 Lanyard Place Redland Bay QLD 4165
579.	Natalie Hahn	3 Beech Drive CASHMERE QLD 4500
580.	Nathan Buckley	20 Shasta Court Cashmere Qld 4500
581.	Nathan Gullen	17 Shaman Place DECEPTION BAY QLD 4508
582.	Nathan Keiboom	29 Chesterfield Street Gumdale QLD 4154
583.	Nathan Milanovic	9 Whipbird Circuit VICTORIA POINT QLD 4165
584.	Nathan Moore	13 North Haven Place Wellington Point Qld 4160
585.	Nathan Rayner	230 Virginia Way Jimboomba QLD 4280
586.	Nathan Senti	18 Esma Street Rochedale South Qld 4123
587.	Neil Jewell	4 Cash Road Cashmere QLD 4500
588.	Nerida Lupton	13 Tattler Street Warner Qld 4500
589.	Neville Marshall	46 Warner Road Warner 4500
590.	Neville Sonter,	56 Raven Court WARNER QLD 4500 WARNER QLD 4500
591.	Neville Thompson	9 Azalea street Redland Bay Qld 4165
592.	Ngaire Stirling	15 Sarah Court Eatons Hill Qld 4037
593.	Nicholas Akers	28 Wagtail Place Warner 4500
594.	Nichole Smedes	21 Dunbeath Drive Burpengary Qld 4505
595.	Nick Hutchins	194 King Street CLONTARF QLD 4019
596.	Nick Kouparitsas	11 Bayview Terrace CLAYFIELD QLD 4011
597.	Nicky Ross	6 Sharven Avenue CLEVELAND QLD 4163
598.	Nicola Reid	27 Moor Circuit WARNER QLD 4500
599.	Nicole Clues	21-23 Raven Court Warner QLD 4500
600.	Nicole Colauhaur	78 Saraband Drive EATONS HILL QLD 4037
601.	Nicole Davies	3/35 Admiralty Circuit Lawnton
602.	Nicole J Orr	45 Raven Court WARNER QLD 4500
603.	Nicole McCaul	3 Starling Street Warner QLD 4500
604.	Nicole Neuendorf	25 Windrest Street STRATHPINE QLD 4500
605.	Nina Rose	150 Warner Road Warner Qld 4500
606.	Nirul Singh	4/52 Longfellow Street NORMAN PARK QLD 4170
607.	Oliver Jonker	4 Platypus Court Lawnton Qld 4501
608.	Olivia Bennie	27 Minerva Court Eatons Hill QLD 4037
609.	Olivia Whatley	52 Sanananda Street Darra Qld 4076
610.	Owen Batchelor	198 Clear Mountain Road CASHMERE QLD 4500
611.	Owen T Kunde	156 Warner Road WARNER QLD 4500
612.	P.J. Lamberton	39 Biarra Street Deagon QLD 4017
613.	Pam hand	16 Kensington Way STRATHPINE QLD 4500
614.	Pamela Rose	4 Esma Street ROCHEDALE SOUTH QLD 4123
615.	Pao Lor	Unit 2 25 Beaton Street COOPERS PLAINS QLD 4108
616.	Patrice Fecioru	Unit 7 9 Beckett Road MCDOWALL QLD 4053
617.	Patricia Mendham	39 Starling Street Warner
618.	Patricia Simpson	4 Paddy Road Warner Qld 4500

619.	Paul Anderson	Unit 5 994 Mt Samson Road WARNER QLD 4500
620.	Paul Costelloe	4 Pannikin Place THORNLANDS QLD 4164
621.	Paul Grant	262 Simpsons Road BARDON QLD 4065
622.	Paul Lupton	13 Tattler Street Warner QLD 4500
623.	Paula Hyde	2 Buttonwood Close ALBANY CREEK QLD 4035
624.	Penelope Marshall	46 Warner Road WARNER QLD 4500
625.	Pete Du Toit	27 Gladstone Street Paddington Qld 4064
626.	Peter Batchelor	73 Boondooma Circuit Albany Creek Qld 4035
627.	Peter Berndt	80 Legeyt Street WINDSOR QLD 4030
628.	Peter Cairns	34 Castle Hill Drive Murrumba Downs Qld 4503
629.	Peter Crawford	River Place Apartment 26 82 Boundary Street BRISBANE QLD 4000
630.	Peter Daff	37 Bowen Avenue Albany Creek Qld 4035
631.	Peter E Field	40 Whimbrel Street Warner 4500
632.	Peter Eyles	26 Wagtail Place WARNER QLD 4500
633.	Peter Hooker	3 Sirius Street EAGLEBY QLD 4207
634.	Peter Kemp	92 Maine Road CLONTARF QLD 4019
635.	Peter Lahrs	11 Coralina Crescent Logan Reserve Qld 4133
636.	Peter Machell	6 Kimberley Court Eatons Hill QLD 4037
637.	Peter McClymont	5 Rose Street Ormiston Qld 4160
638.	Peter Springham	12 Higgs Circuit Wynnum West Qld 4178
639.	Peter Watts	19 Yungaba Place BRACKEN RIDGE QLD 4017
640.	Philip Allen	38 Reading Drive ALEXANDRA HILLS QLD 4161
641.	Philip McDonald	49 Broseley Road TOOWONG QLD 4066
642.	Pieter Eenink	5 Corzac Street Narangba QLD 4504
643.	Praveen Narayan	58 Whimbrel Street Warner QLD 4500
644.	Priya Narayan	58 Whimbrel Street Warner QLD 4500
645.	Qingyun Chen	7/204 Kelvin Grove Road Kelvin Grove Qld 4059
646.	Rachael Wilson	9 Celia Street BENTLEIGH EAST VIC 3165
647.	Rachel Alexander	64 Dundee Street Bray Park Qld 4500
648.	Rachel Guest	216 Francis Road Lawnton Qld 4501
649.	Rachel King	32 Muskwood Street CAPALABA QLD 4157
650.	Rachel McAdoo	83 Shrapnel Road Cannon Hill Qld 4170
651.	Rachelle Dick	33 Corvus Drive CASHMERE QLD 4500
652.	Ralph Nielson	193 Herron Road CEDAR CREEK Qld 4520
653.	Rebecca Akers	28 Wagtail Place Warner QLD 4500
654.	Rebecca Biffaro	80 Carbine Street DONCASTER EAST VIC 3109
655.	Rebecca Clough	105 Point Cartwright Drive Buddina Qld 4575
656.	Rebecca East	150 Nelson Street Woolloowin QLD 4030
657.	Rebecca J Rigoni	23 Koel Court WARNER QLD 4500
658.	Rebecca Russell	58 Marina Court Eaton Hill QLD 4037
659.	Renee A De Visser	3 Parakeet Court WARNER QLD 4500
660.	Rhiannon Bee	62 Lowan Street WARNER QLD 4500
661.	Rhonda Henderson	12 Fortuna Court Brendale Qld 4500
662.	Rhonda Jones	22 Selwyn Street North Booval QLD 4304
663.	Rhonda McCorry	31-47 Woodfall Road Greenbank Qld 4124
664.	Richard Butcher	3 La Vista Court Cashmere Qld 4500
665.	Richard Didcott	31 Mayfield Street ASCOT
666.	Richard Harrison	37 Sandpiper Drive Burleigh Waters Qld 4220
667.	Richard Horrocks	32 Paddy Road Warner Qld 4500

668.	Richard Jensen	41 B Dutton Street Coolangatta Qld 4225
669.	Richard Mulligan	Unit 4072, 36 Evelyn Street Newstead Qld 4006
670.	Rick &A Hartman	42 Warner Road Warner 4500
671.	Ricky Nicol	80 Sandheath Place Ningi QLD 4511
672.	Rob Nimmo	2 Starling Street Warner Qld 4500
673.	Rob Walker	267 Todds Road Lawnton Qld 4501
674.	Robb Smith	100 Albatross Avenue MERMAID BEACH QLD 4218
675.	Robert J Clague	44 Starling Street WARNER QLD 4500
676.	Robyn Grove	23 Crossing Drive Eatons Hill Qld 4037
677.	Rohan Gardiner	4/56 Herston Road Kelvin Grove QLD 4059
678.	Ron &J Loney	47 Piermont Place CLEVELAND QLD 4163
679.	Ron Atkinson	16 Sanderling Drive WARNER QLD 4500
680.	Ron Graham	2/61 Catalina Way Upper Coomera Qld 4209
681.	Ron Watson	4 Beth Court Warner Qld 4500
682.	Ropelin Tania	9 Goodwood Street HENDRA QLD 4011
683.	Rosanne Fleming	11 Coral Pea Close WARNER QLD 4500
684.	Ross Bennie	27 Minerva Court Eatons Hill 4037
685.	Ross Warnes	98 Warner Road Warner QLD 4500
686.	Ruby Braten	3 Achterberg Place VICTORIA POINT QLD 4165
687.	Rup Narain	58A Whimbrel Street Warner QLD 4500
688.	Russell Lea	3 Nyleeta Crt Carindale Qld 4152
689.	Ryan Endersby	6 Amethyst Street Alexandra Hills Qld 4161
690.	Ryan McGhie	81 Island Street Cleveland Qld 4163
691.	Ryan Stuart-Russell	19 Paddy Road Warner Qld 4500
692.	Ryan Watts	2/ 28 Wodala Crescent BRACKEN RIDGE QLD 4017
693.	Ryan Zujic	3 Cormorant Close Cashmere Qld 4500
694.	Sally Rose	Unit 4 122 Bunney Avenue CLAYFIELD QLD 4011
695.	Sam Hall	C/- 2 Pittwin Road North CAPALABA QLD 4157
696.	Sam Saggars	4 Allenby Street CLONTARF QLD 4019
697.	Samantha Hohenhaus	9 Lowan Street Warner 4500
698.	Samantha Wakerley	29 Maud Street Albany Creek Qld 4035
699.	Sandra MacGregor	65 Warner Road Warner Qld 4500
700.	Sandra Moore	2/16 Doolooma Street MOUNTAIN CREEK
701.	Sara Taylor	47 Starling Street WARNER QLD 4500
702.	Sara Welch	12 Timms Circuit Warner Qld 4500
703.	Sarah J Kill	22 Clematis Court CASHMERE QLD 4500
704.	Saric	49 bates drive Birkdale Qld 4159
705.	Sasha Hopkins	3B Cochrane Avenue MENTONE VIC
706.	Scott McBain	2 Alton Towers Springfield Lakes Qld 4300
707.	Scott McDonald	5 Lamaur Street WARNER QLD 4500
708.	Sean Cochrane	66 Raven Court Warner QLD 4500
709.	Sean H Carlill	15 Whimbrel Street WARNER QLD 4500
710.	Sean Rose	150 Warner Road Warner QLD 4500
711.	Sebastian Fourez	12 Granada Drive Eatons Hill Qld 4037
712.	Seng Xiong	10 Auburn Court PARK RIDGE SOUTH QLD 4125
713.	Seth Peady	29 Capricorn Place BRIDGEMAN DOWNS QLD 4035
714.	Shaicove Pty Ltd	2 Pittwin Road North CAPALABA QLD 4157
715.	Shane Towers	5 Hemlock Street Warner 4500
716.	Sharen Crane	17 Edwards Drive Albany Creek 4035

717.	Sharon Watts	19 Yungaba Place BRACKEN RIDGE QLD 4017
718.	Sharyn Donovan	757 Gympie Road LAWNTON QLD 4501
719.	Shaun Donleavy	1907/17 Longland Street NEWSTEAD QLD 4006
720.	Shayla Hall	53 Kingsdale Avenue THORNLANDS QLD 4164
721.	Sherril Adams	12 Terben Street Warner QLD 4500
722.	Siana Buiatti	51 Cowie Road Carseldine Qld 4034
723.	Sidney Hart	39 Iris Place Acacia Ridge Qld 4110
724.	Sidonie McGregor	5 McCartney Court CASHMERE Qld 4500
725.	Simon Ridge	59 Laura Street Clontarf Qld 4019
726.	Simon S Ogle	6 Paddy Road Warner QLD 4500
727.	Simone Thomas	8 Highgrove Street Thornlands Qld 4164
728.	Sophie Didcott	31 Mayfield Street ASCOT QLD 4007
729.	Stacey Sharp	53 Green Trees Drive Cornubia Qld 4130
730.	Stephanie Cornish	53 Raven Court Warner Qld 4500
731.	Stephen Griffith	53 Green Trees Drive Cornubia Qld 4130
732.	Stephen Handcock	173 Lascelles Street BRIGHTON QLD 4017
733.	Stephen McKeown	17 Roe Street UPPER COOMERA QLD 4209
734.	Stephen Mehonoshen	17 Lowan Street WARNER QLD 4500
735.	Steve Bowman	3 Bonney Court Warner Qld 4500
736.	Steve Burns	25 Tovey Road BORONIA QLD 4124
737.	Steve Cornish	53 Raven Court Warner Qld 4500
738.	Steve Hynes	47 Frampton Street ALEXANDRA HILLS QLD 4161
739.	Steve Mosen	27 Rawle Street CAMIRA QLD 4300
740.	Steven & T Bell	8 Sundown Court CASHMERE QLD 4500
741.	Steven Letham	56 Kallatina Street NARANGBA QLD 4504
742.	Steven Little	22 Oxley Street CAPALABA QLD 4157
743.	Stewart Manthey	13 Loane Crescent Lawnton Qld 4501
744.	Stu Black	82 Thomas St Birkdale QLD 4159
745.	Sung Cho	5 Metro Street MCDOWALL QLD 4053
746.	Susan L Fulton	16 Whimbrel Street WARNER QLD 4500
747.	Suzanne Dark	6 Cormorant Close Cashmere 4500
748.	Sylvia Hunt	6 Basswood Court Albany Creek Qld 4053
749.	Tamara Balfour	7 Whimbrel Street Warner Qld 4500
750.	Tamara Simpson	24 Dehaulland Drive Bray Park 4500
751.	Tamara Werner	53 Schooner Crescent Manly West Qld 4179
752.	Tameka Clague	44 Sterling Street Warner Qld 4500
753.	Tanya Muston	34 Rangeview Road MORAYFIELD QLD 4506
754.	Tasha Moore	16 Boland Court Eatons Hill QLD 4027
755.	Tekita Agosta	76 Pine River Drive Murrmba Downs Qld 4503
756.	Tennille Bainbridge	PO Box 201 ZILLMERE QLD 4034
757.	Teresa Tartaglia	6 Rigney Street UNDWERWOOD QLD
758.	Terrence J Walker	6 Roseville Street Petrie 4502
759.	Terry Nguyen	54 Montello Circuit Springfield Lakes Qld 4300
760.	Terry, Wilson	2 Everest Street WARNER QLD 4500
761.	Thao Xiong	11 Auburn Court PARK RIDGE SOUTH QLD 4125
762.	Thomas Rye	13 Starling Street WARNER QLD 4500
763.	Tim Connolly	30 Bellbird Place Mcdowall QLD 4053
764.	Timothy Sawyer	3 Andee Place Wishart Qld 4121
765.	Timothy Schloss	14 Brandy Court EATONS HILL QLD 4037

766.	Timothy Steers	2 Hannam Street WOODRIDGE QLD 4114
767.	Toby Field	40 Whimbrel Street WARNER QLD 4500
768.	Todd Pepper	Level 10, 145 Eagle Street Brisbane Qld 4000
769.	Todd Stephens	Unit 1 180 Graham Road MORAYFIELD QLD 4506
770.	Tom Courtenay	3/43 Ashgrove Avenue Ashgrove Qld 4060
771.	Tom Derlagen	51 Eighth Avenue Kedron Qld 4031
772.	Tom McKinney	8 Keenan Close MANLY WEST QLD 4179
773.	Toni Martin	6 Ann Maree Drive Caboolture Qld 4510
774.	Tony Antoniou	3 Glenview Road DONCASTER EAST VIC 3109
775.	Tony Biffaro	80 Carbine Street DONCASTER EAST VIC 3109
776.	Tony McDonald	63 Thompson Street Zillmere Qld 4034
777.	Tony Rogers,	34 Oceanic Drive Warana Qld 4575
778.	Torey Hensel	45/42 Johnston Street Bulimba Qld 4171
779.	Tori S Moore-Enright	93 Ferny Way Ferny Hills Qld 4055
780.	Tou Xiang	11 Auburn Court PARK RIDGE SOUTH QLD 4125
781.	Tracey-Ann Dorling	25 Bayberry Crescent Warner Qld 4500
782.	Tracy Alexander	64 Dundee Street Bray Park Qld 4500
783.	Tracy McGirl	6 Greenlea Street Alexandra Hills Qld 4161
784.	Tracy Rose	102 Kelvin Grove Road Kelvin Grove Qld 4059
785.	Travis Edney	65 Hanover Drive Alexandra Hills Qld 4161
786.	Travis Gray	3/82 Miskin Street Toowong Qld 4066
787.	Trent Erpf	15 Dickson Crescent NORTH LAKES QLD 4509
788.	Trevor Winson	39 Chesterfield Street Gumdale Qld 4154
789.	Troy Garland	1/33 Renni Street Indooroopilly Qld 4068
790.	Troy Kitson	13 Carramar Street LOGANLEA QLD 4131
791.	Troy Schultz	20 Tibouchina Court Helensvale Qld 4212
792.	Troy Sussman	3 Waterloo Court Tanawha Qld 4556
793.	Tyson Kemp	22 Townsville Crescent Deception Bay Qld 4508
794.	Valdi Buiatti	51 Cowie Road Carseldine Qld 4034
795.	Vesna Stoykovic	3 Goongarrie Crescent Parkinson Qld 4115
796.	Vick Akers	28 Wagtail Place Warner 4500
797.	Vicki Devine	12 Dover Court BURPENGARY EAST QLD 4505
798.	Victoria EM Orchard	50 Oakwood Road WARNER QLD 4500
799.	Victoria Hayward	8 Kidman Circuit Thornlands Qld 4164
800.	Wanda Gordon	9 Shearwater Drive GLEN EDEN QLD 4680
801.	Ward Stanton	8 Markwell Court PETRIE QLD 4502
802.	Warwick Bell	7 Quoll Close Burleigh Heads Qld 4220
803.	Wayne C Rose	8 Corvus Drive CASHMERE QLD 4500
804.	Wayne Gould	35 Leapai Parade Griffin Qld 4503
805.	Wayne Pringle	12 Katherine Street Norman Park Qld 4170
806.	Will Olnier	161 Long Street CLEVELAND QLD 4163
807.	William H Oldfield	28 Whimbrel Street WARNER QLD 4500
808.	William Lebian	23 Gilmore Street TARAGINDI QLD 4121
809.	Wills Rieken	45 Minerva Court Eatons Hill Qld 4037
810.	Wolly Kasjan	786-804 Teviot Road South Maclean Qld 4280
811.	Xavier Williams	37 Pfingst Road WAVELL HEIGHTS QLD 4012
812.	Ye Yu	35 Jaffa Crescent CALAMVALE QLD 4116
813.	Yvonne Thursby	14 Raven Court WARNER QLD 4500
814.	Zac Ireland	207 Main Road Wellington Point Qld 4160

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| 815. | Zdena Rumreich | 19 North Street Woorim Qld 4507 |
| 816. | Zeph Burton | 23 Thorson Street CABOOLTURE QLD 4510 |
| 817. | Zoe Cornish | 53 Raven Court Warner Qld 4500 |