

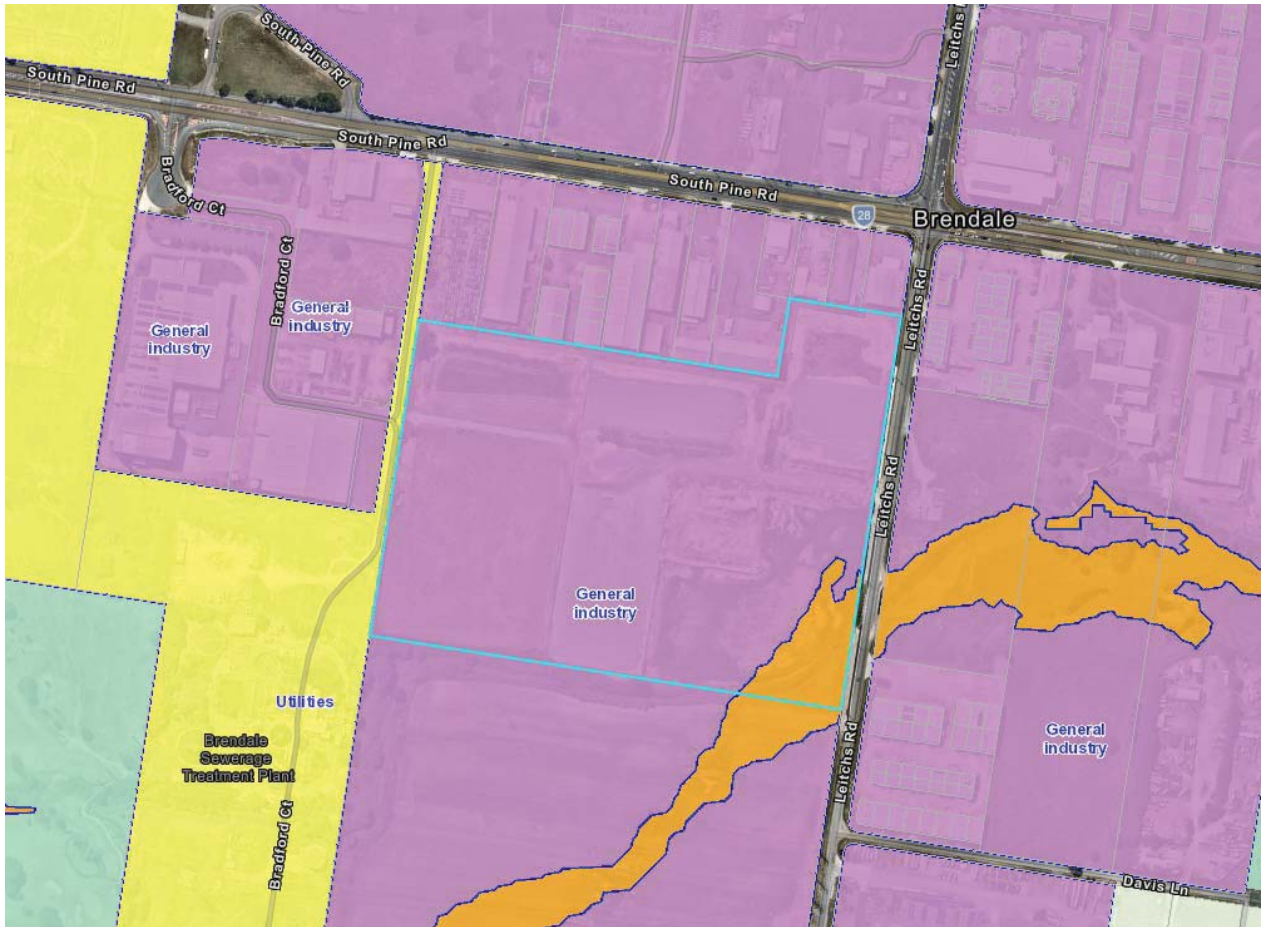
MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

#1 Locality Plan

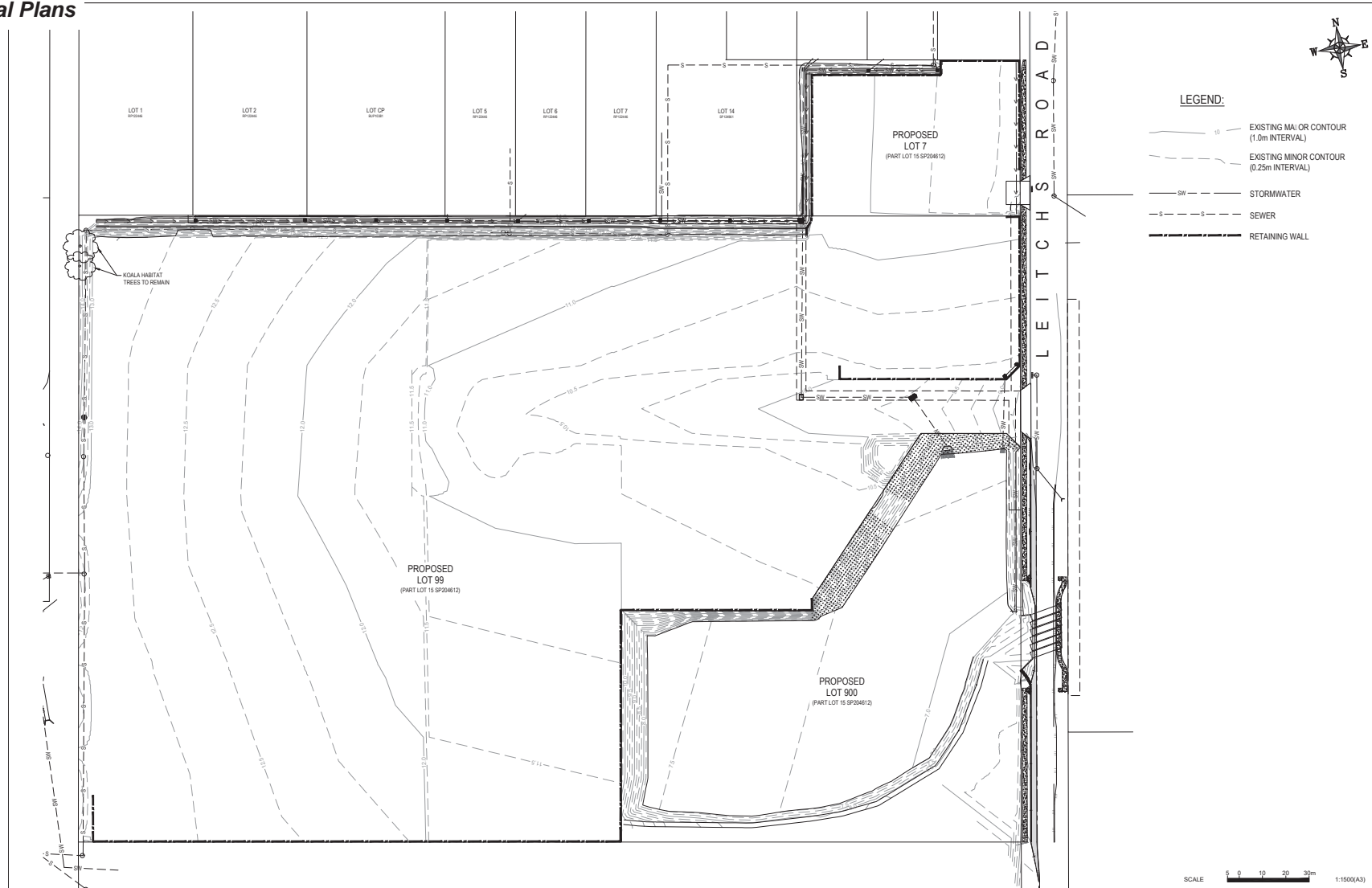


MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

#2 Zoning Map



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)
#3 Proposal Plans



REVISIONS	No.	DATE	DESCRIPTION	DRAWN	CHECK
A	S.M.	14.01.20	INFORMATION REQUEST	DES. CHK.	

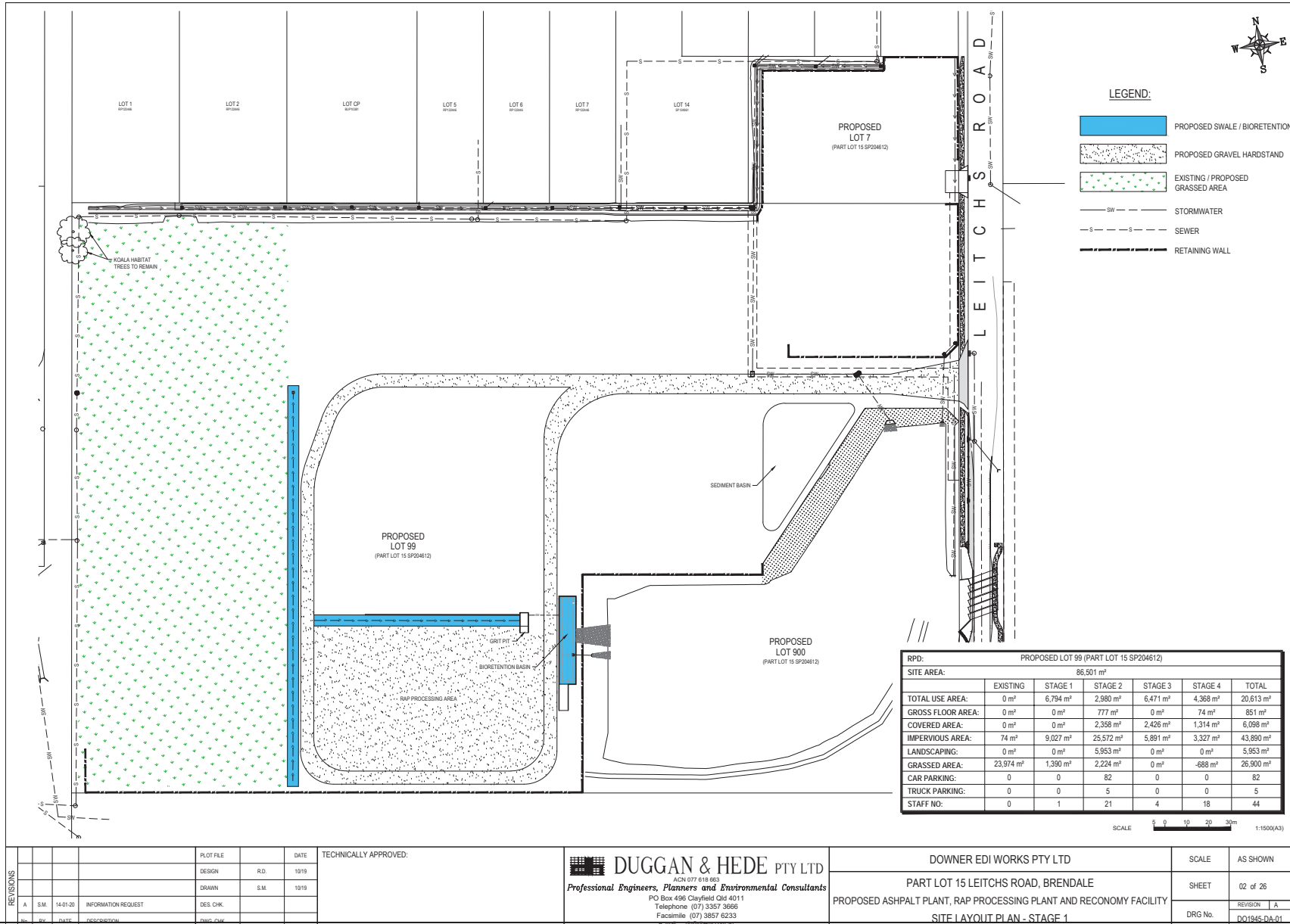
PLAT FILE	DATE	TECHNICALLY APPROVED:
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DRAWN	S.M.	10/19
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DRAWN		
DES. CHK.		

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OWNER EDI WORKS PTY LTD
 PART LOT 15 LEITCHS ROAD, BRENDALE
 PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY
 PREDEVELOPMENT CONTOURS

SCALE	AS SHOWN
SHEET	01 of 26
DRG No.	DD1945-DA-00

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



REVISONS	NO.	DATE	DESCRIPTION	DESIGNER	CHK.
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				J.M.P. CHK.	

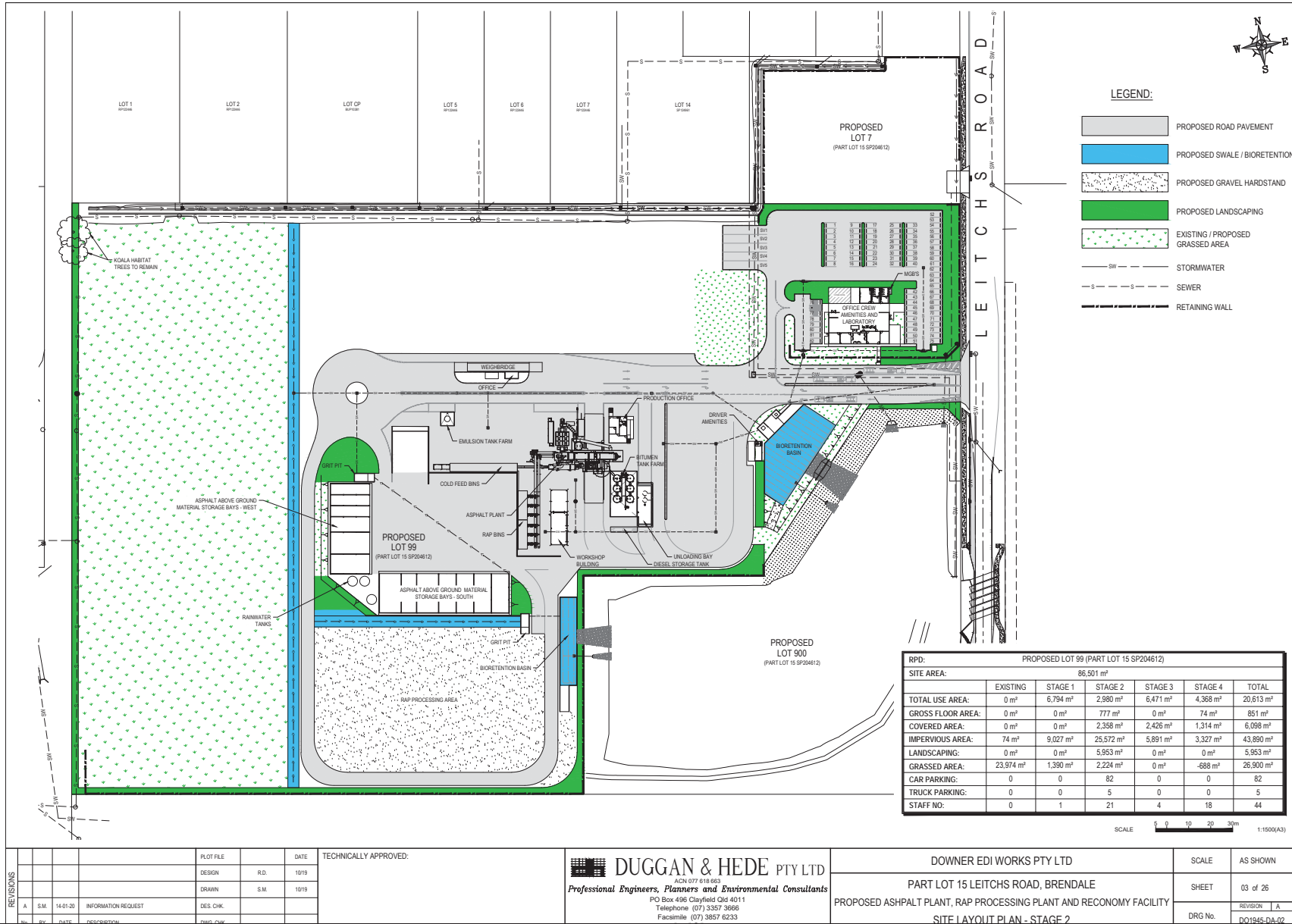
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DRAWN S.M.	10/19	

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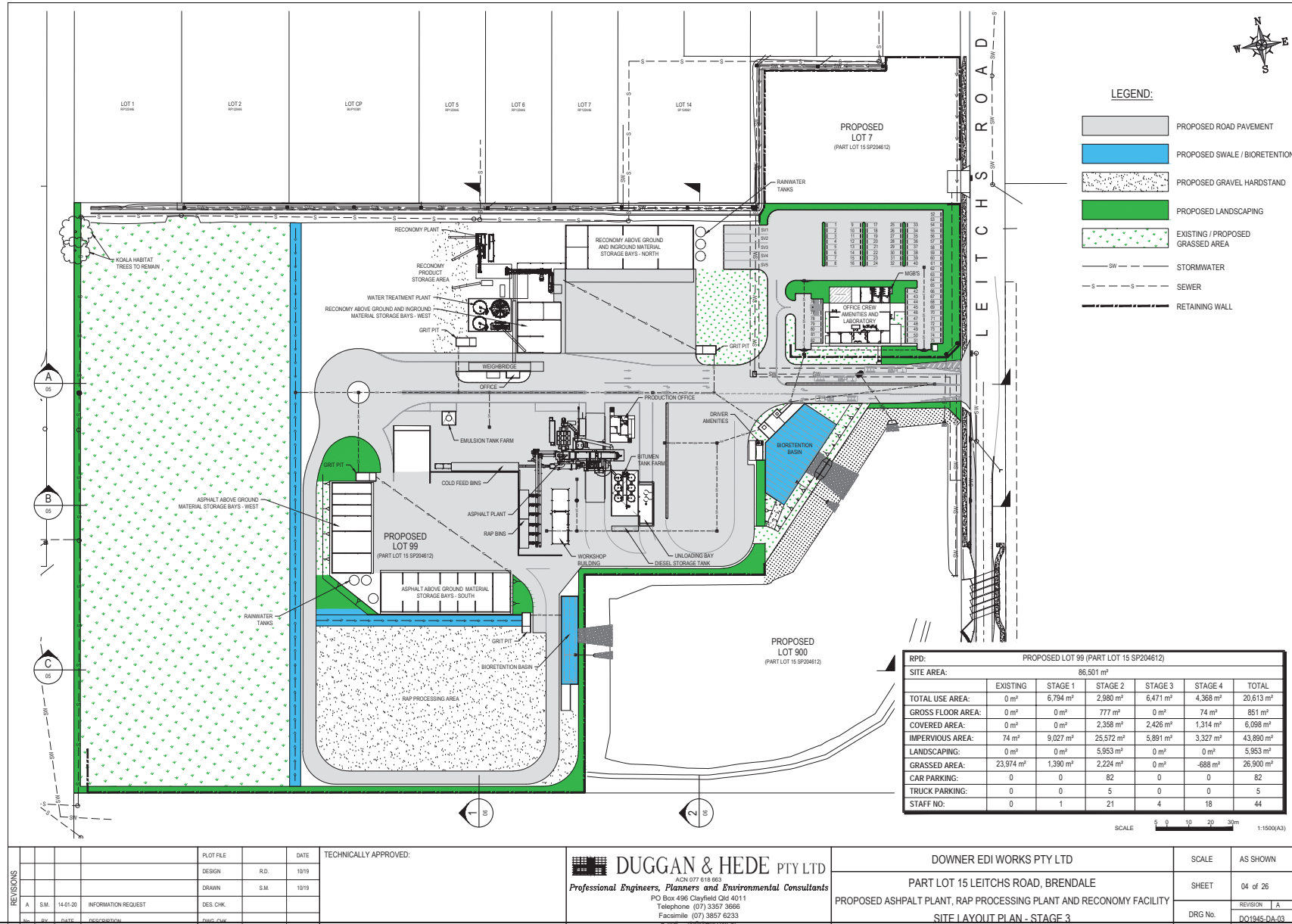
OWNER EDI WORKS PTY LTD
 PART LOT 15 LEITCHS ROAD, BRENDALE
 PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY
 SITE LAYOUT PLAN - STAGE 1

SCALE	AS SHOWN
SHEET	02 of 26
DRG No.	DO1945-DA-01

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



RPD: PROPOSED LOT 99 (PART LOT 15 SP204612)	
SITE AREA:	86,501 m ²
TOTAL USE AREA:	0 m ² EXISTING, 6,794 m ² STAGE 1, 2,980 m ² STAGE 2, 6,471 m ² STAGE 3, 4,368 m ² STAGE 4, 20,613 m ² TOTAL
GROSS FLOOR AREA:	0 m ² EXISTING, 0 m ² STAGE 1, 777 m ² STAGE 2, 0 m ² STAGE 3, 74 m ² STAGE 4, 851 m ² TOTAL
COVERED AREA:	0 m ² EXISTING, 0 m ² STAGE 1, 2,358 m ² STAGE 2, 2,426 m ² STAGE 3, 1,314 m ² STAGE 4, 6,098 m ² TOTAL
IMPERVIOUS AREA:	74 m ² EXISTING, 9,027 m ² STAGE 1, 25,572 m ² STAGE 2, 5,891 m ² STAGE 3, 3,327 m ² STAGE 4, 43,890 m ² TOTAL
LANDSCAPING:	0 m ² EXISTING, 0 m ² STAGE 1, 5,953 m ² STAGE 2, 0 m ² STAGE 3, 0 m ² STAGE 4, 5,953 m ² TOTAL
GRASSED AREA:	23,974 m ² EXISTING, 1,390 m ² STAGE 1, 2,224 m ² STAGE 2, 0 m ² STAGE 3, -688 m ² STAGE 4, 26,900 m ² TOTAL
CAR PARKING:	0 EXISTING, 0 STAGE 1, 82 STAGE 2, 0 STAGE 3, 0 STAGE 4, 82 TOTAL
TRUCK PARKING:	0 EXISTING, 0 STAGE 1, 5 STAGE 2, 0 STAGE 3, 0 STAGE 4, 5 TOTAL
STAFF NO.:	0 EXISTING, 1 STAGE 1, 21 STAGE 2, 4 STAGE 3, 18 STAGE 4, 44 TOTAL

SCALE 0 10 20 30m 1:1500(A3)

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B	S.M.			DES. CHK.	S.M.	10/19	
C				DES. CHK.			

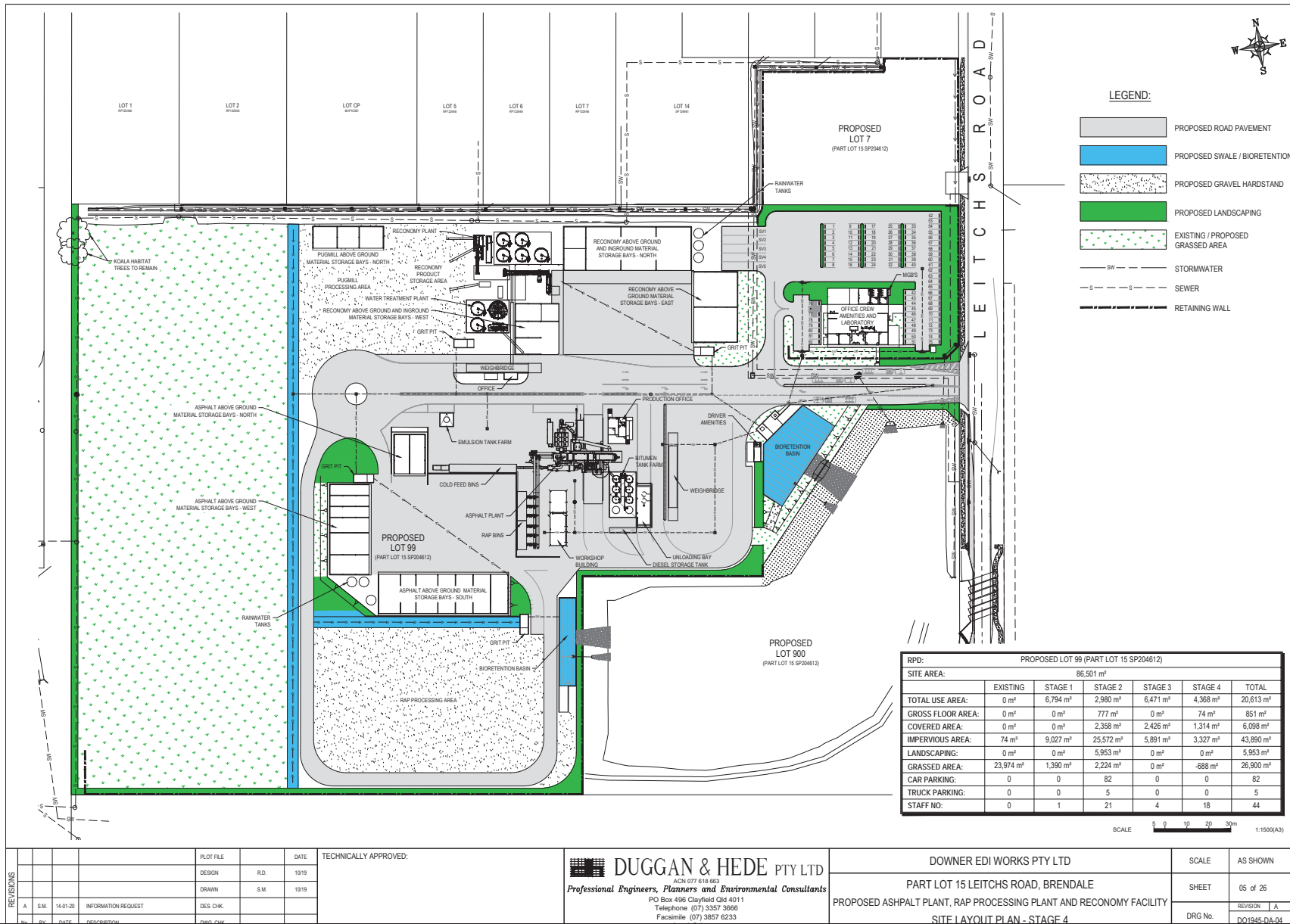
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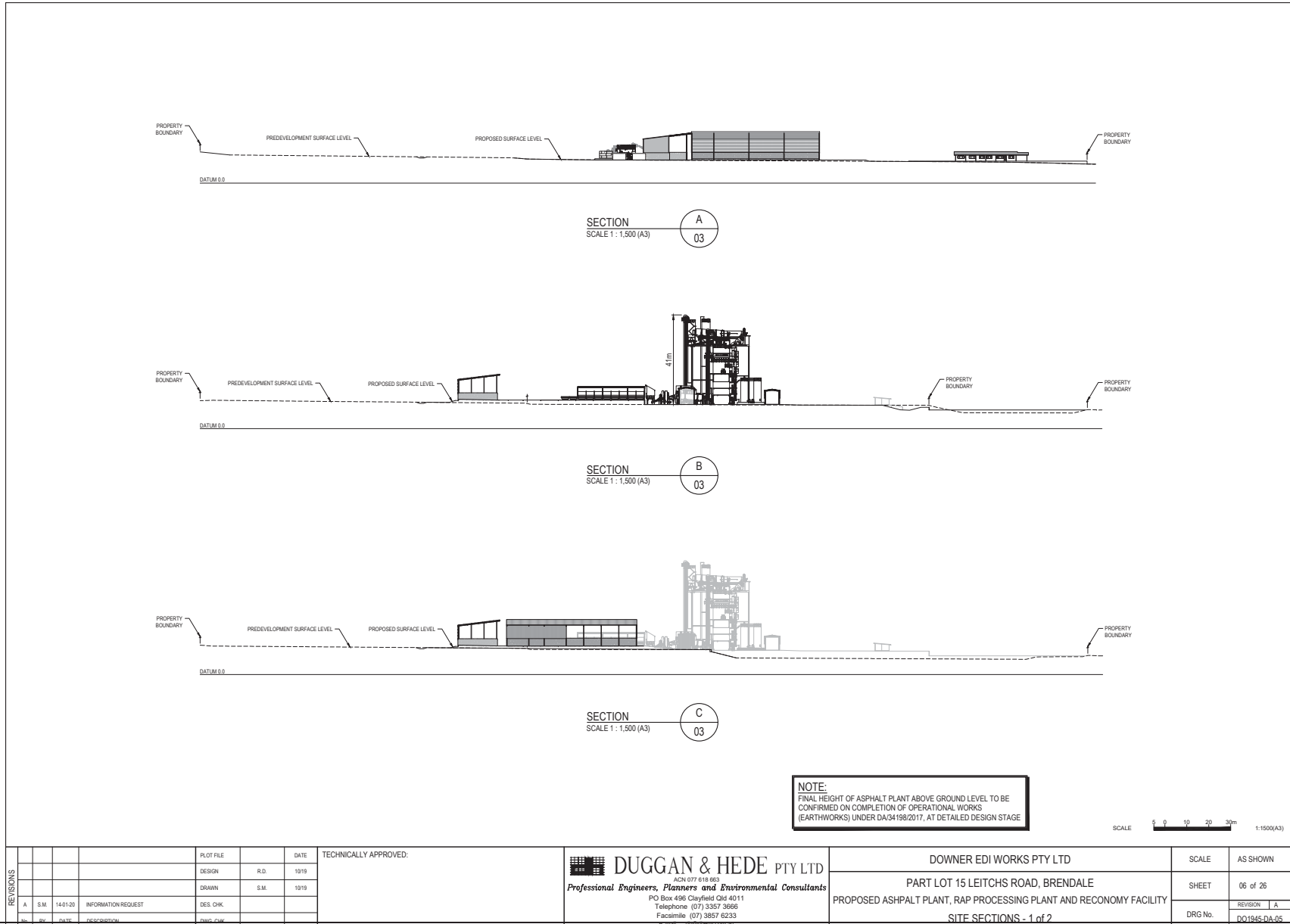
OWNER EDI WORKS PTY LTD
 PART LOT 15 LEITCHS ROAD, BRENDALE
 PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY
 SITE LAYOUT PLAN - STAGE 3

SCALE	AS SHOWN
SHEET	04 of 26
REVISION	A
DRG No.	DP1945-DA-03

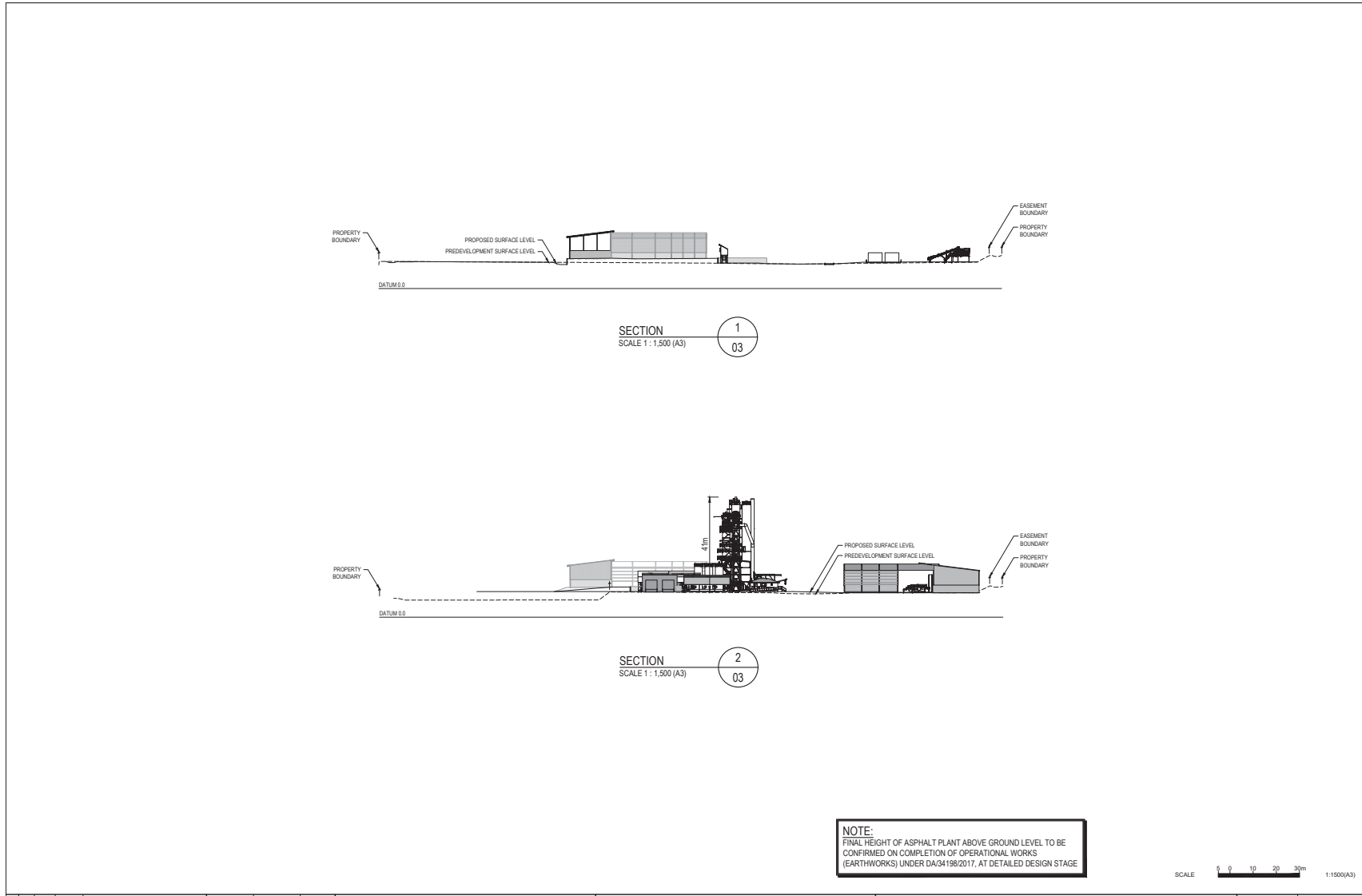
ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



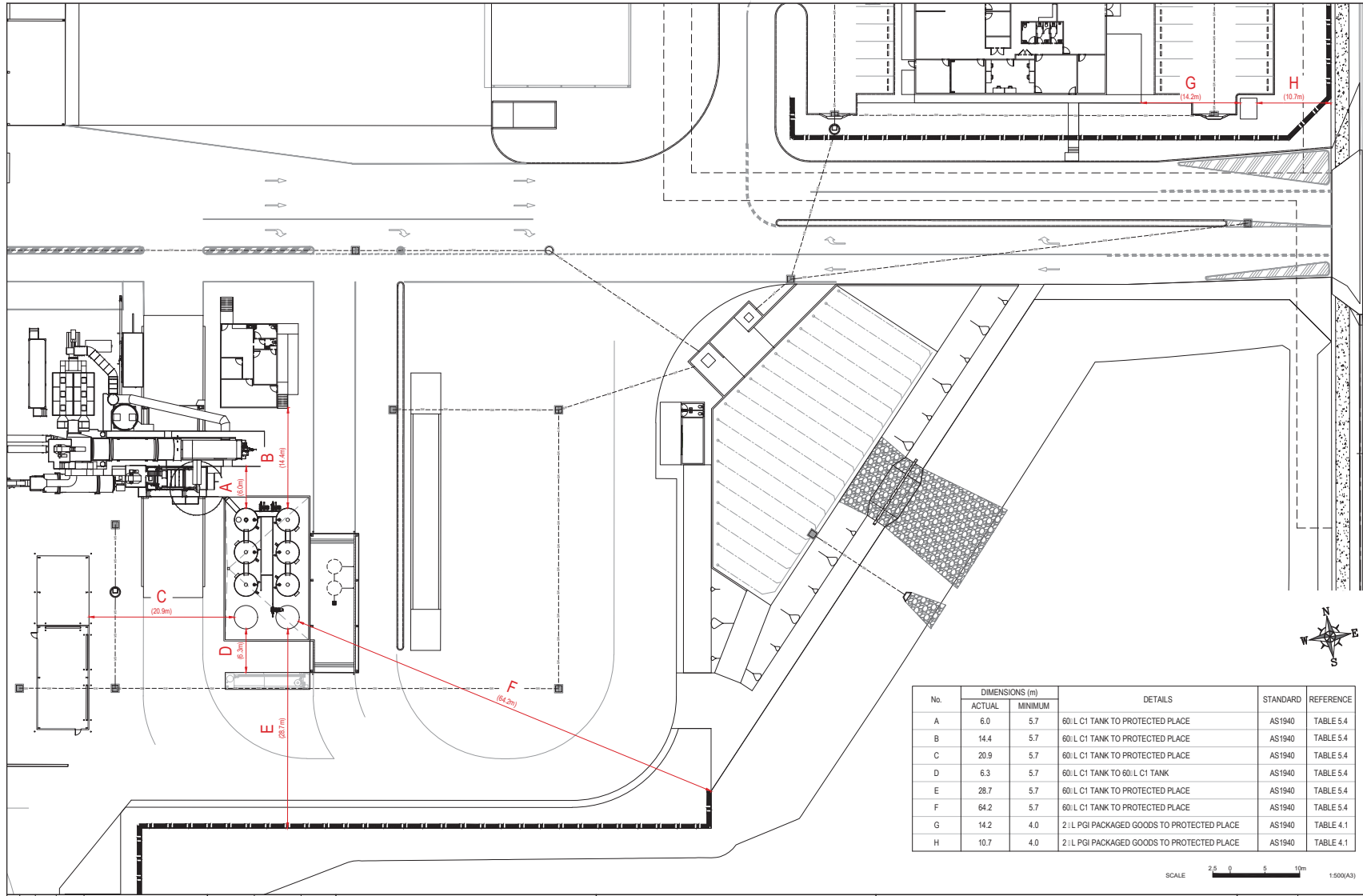
ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



NOTE:
FINAL HEIGHT OF ASPHALT PLANT ABOVE GROUND LEVEL TO BE CONFIRMED ON COMPLETION OF OPERATIONAL WORKS (EARTHWORKS) UNDER DA/34198/2017, AT DETAILED DESIGN STAGE

REVISIONS				PLOT FILE	DATE	TECHNICALLY APPROVED:	DUGGAN & HEDE PTY LTD <i>Professional Engineers, Planners and Environmental Consultants</i> PO Box 496 Clayfield Qld 4011 Telephone (07) 3357 3666 Facsimile (07) 3857 6233 www.duggan-hede.com.au	OWNER EDI WORKS PTY LTD	SCALE	AS SHOWN		
	A	S.M.	14.01.20	DESIGN	R.D.				10/19	PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY	SHEET	07 of 26
				DRAWN	S.M.				10/19	SITE SECTIONS - 2 of 2	DRG No.	DO1945-DA-06
				DES. CHK.							REVISION	A
	No.	By	DATE	DESCRIPTION	CHK.							

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



No.	DIMENSIONS (m)		DETAILS	STANDARD	REFERENCE
	ACTUAL	MINIMUM			
A	6.0	5.7	60 L C1 TANK TO PROTECTED PLACE	AS1940	TABLE 5.4
B	14.4	5.7	60 L C1 TANK TO PROTECTED PLACE	AS1940	TABLE 5.4
C	20.9	5.7	60 L C1 TANK TO PROTECTED PLACE	AS1940	TABLE 5.4
D	6.3	5.7	60 L C1 TANK TO 60 L C1 TANK	AS1940	TABLE 5.4
E	28.7	5.7	60 L C1 TANK TO PROTECTED PLACE	AS1940	TABLE 5.4
F	64.2	5.7	60 L C1 TANK TO PROTECTED PLACE	AS1940	TABLE 5.4
G	14.2	4.0	2 L L PGI PACKAGED GOODS TO PROTECTED PLACE	AS1940	TABLE 4.1
H	10.7	4.0	2 L L PGI PACKAGED GOODS TO PROTECTED PLACE	AS1940	TABLE 4.1

SCALE 20 0 5 10m 1:500(A3)

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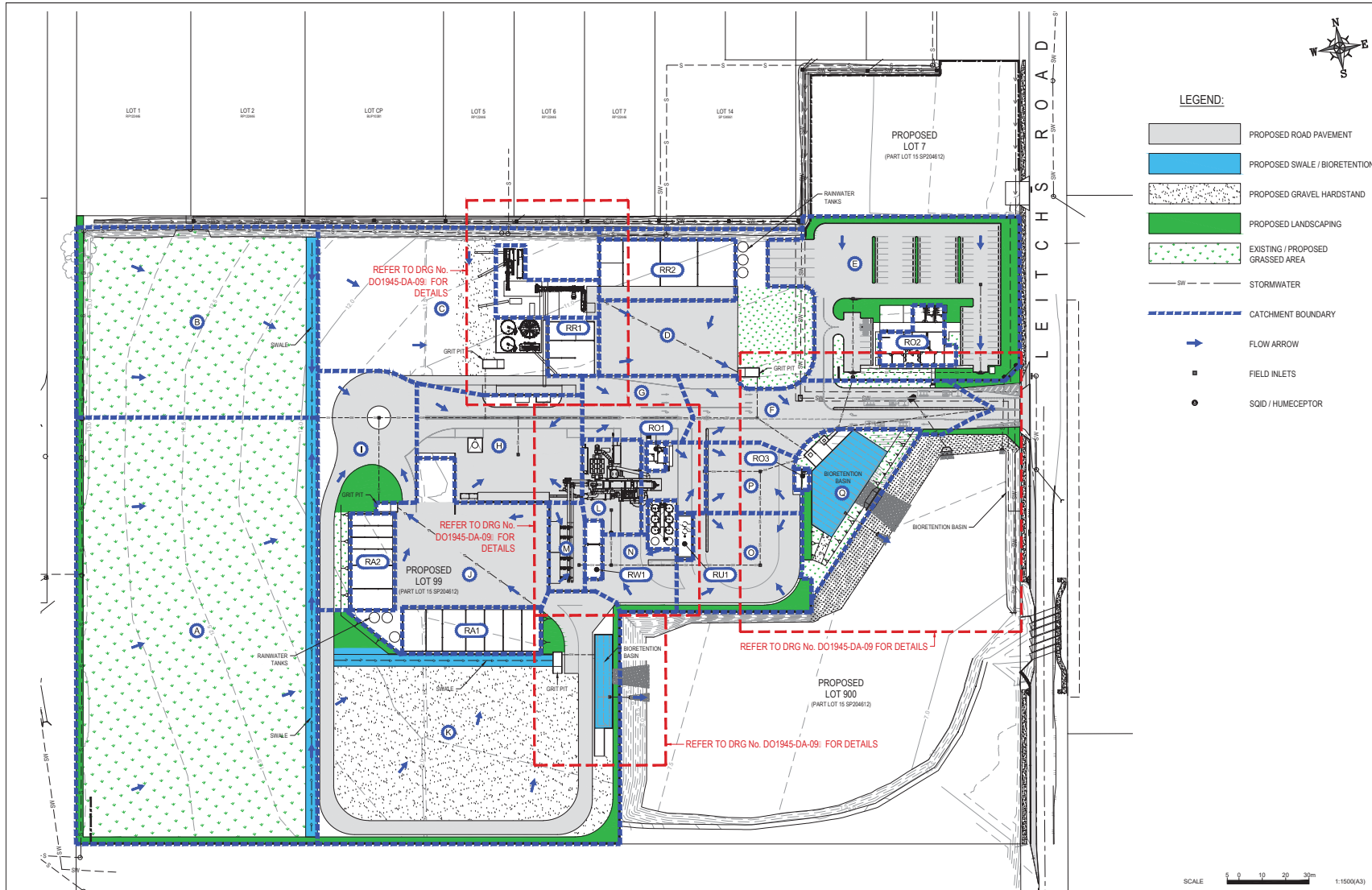
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DESIGN	R.D.	10/19
DRAWN	S.M.	10/19

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OWNER EDI WORKS PTY LTD
 PART LOT 15 LEITCHS ROAD, BRENDALE
 PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY
 CRITICAL SITE DIMENSIONS

SCALE	AS SHOWN
SHEET	08 of 26
DRG No.	DOI2456-DA-07

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



REVISIONS	NO.	DATE	DESCRIPTION	DESIGNER	CHK.
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IMP. CHK.		

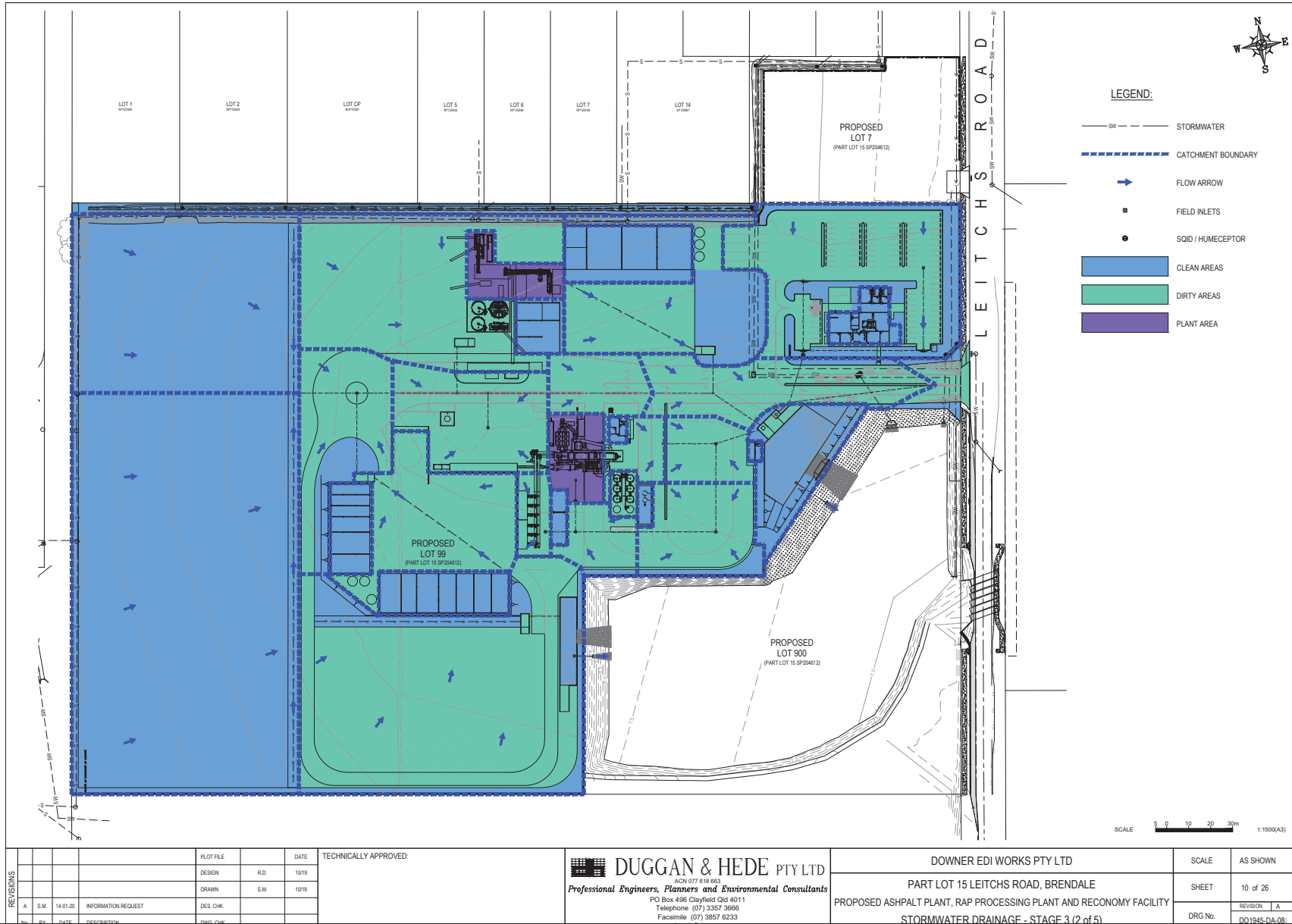
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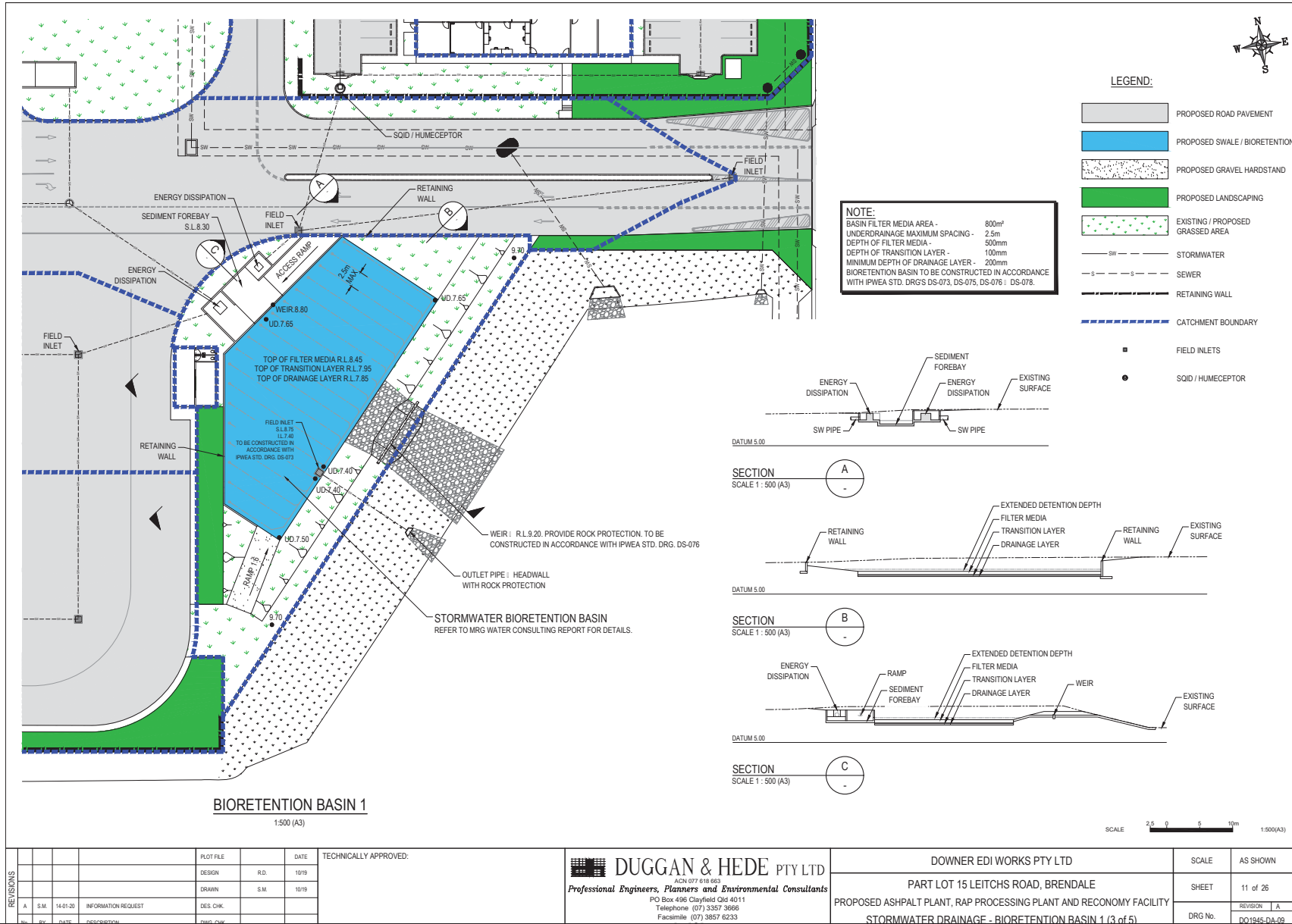
OWNER EDI WORKS PTY LTD
 PART LOT 15 LEITCHS ROAD, BRENDALE
 PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY
 STORMWATER DRAINAGE - STAGE 3 (1 of 5)

SCALE	AS SHOWN
SHEET	09 of 26
REVISION	A
DRG No.	DO1945-DA-08

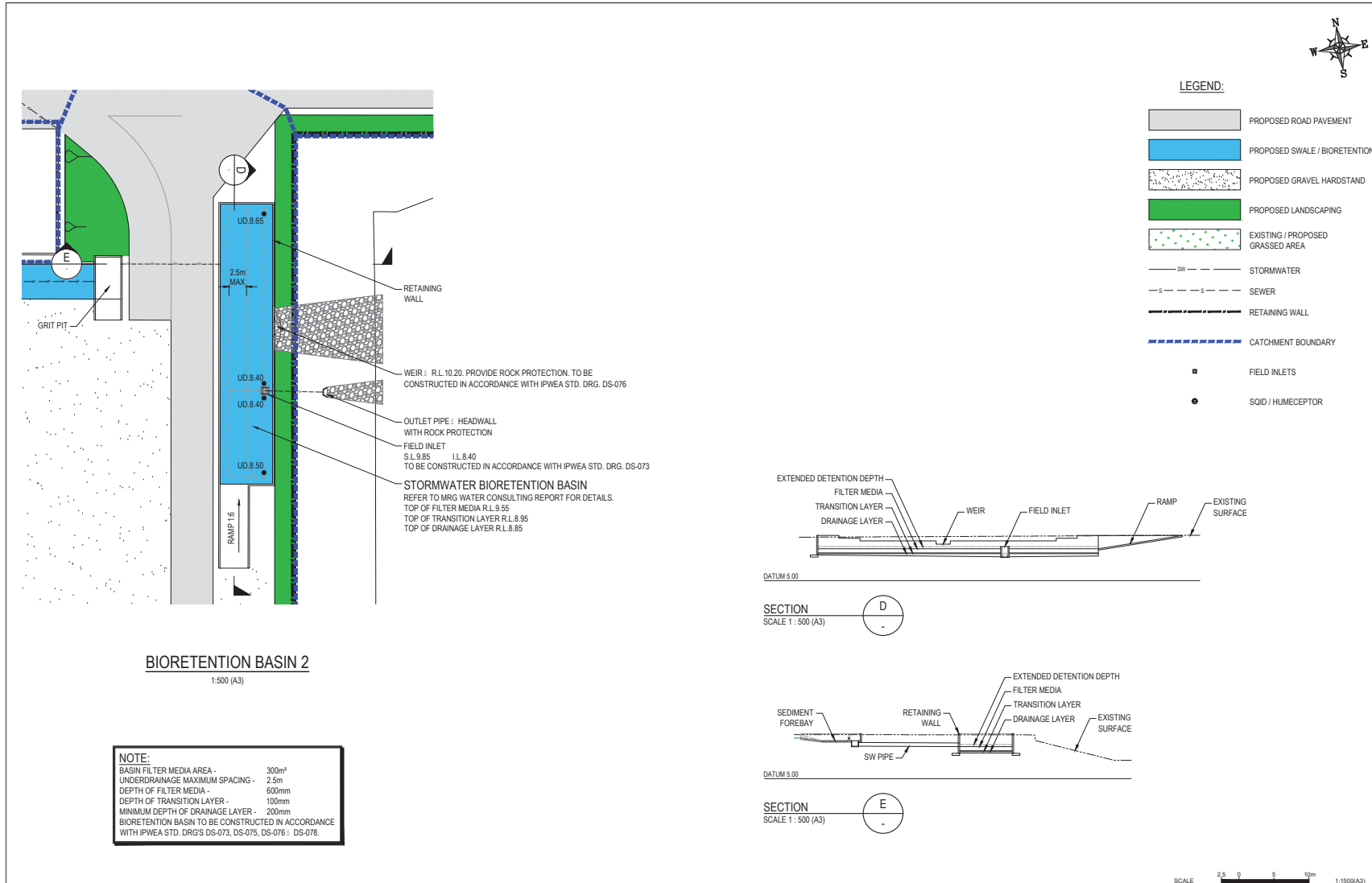
ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



REVISIONS	NO.	DATE	DESCRIPTION	DESIGNER	DATE
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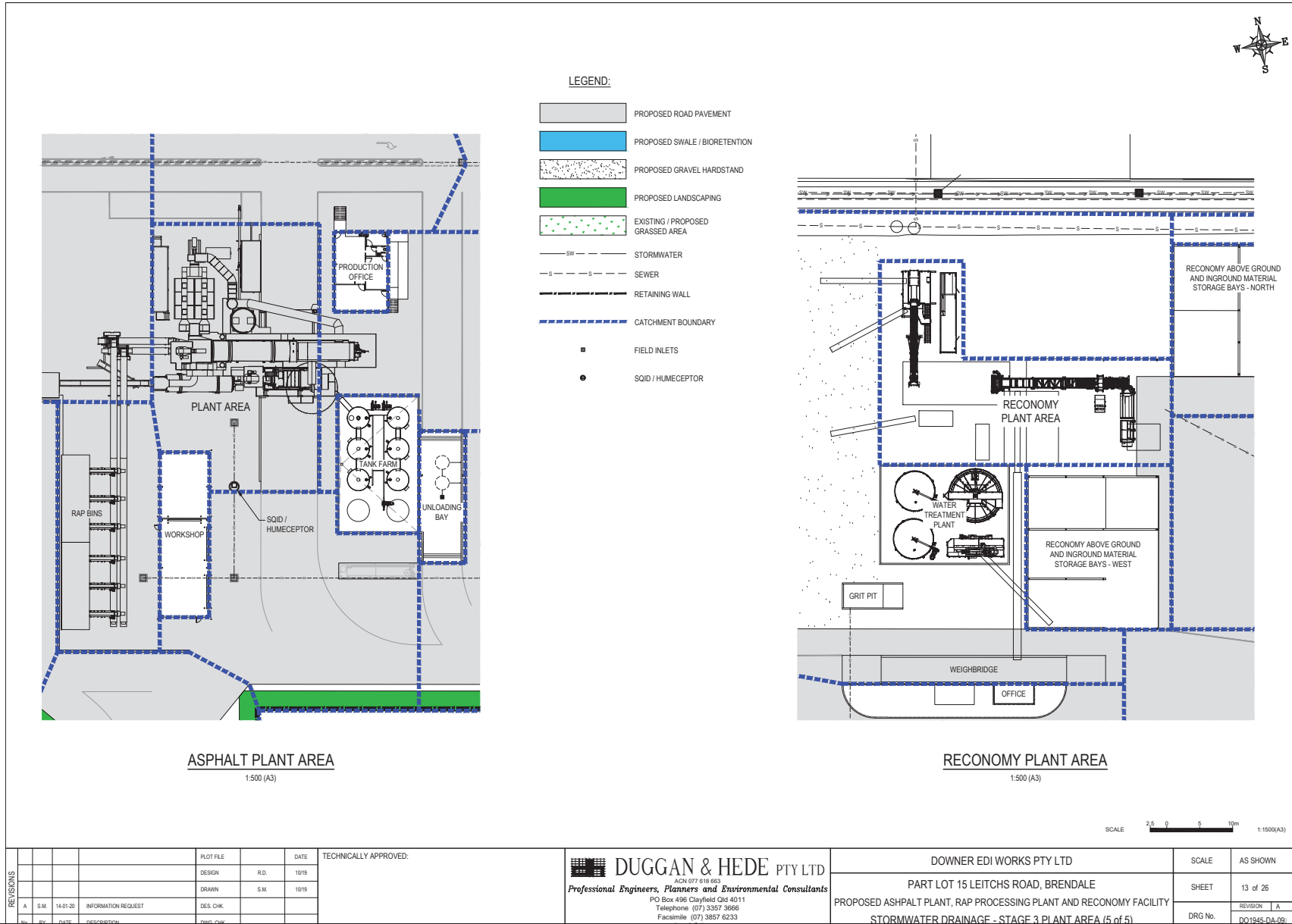
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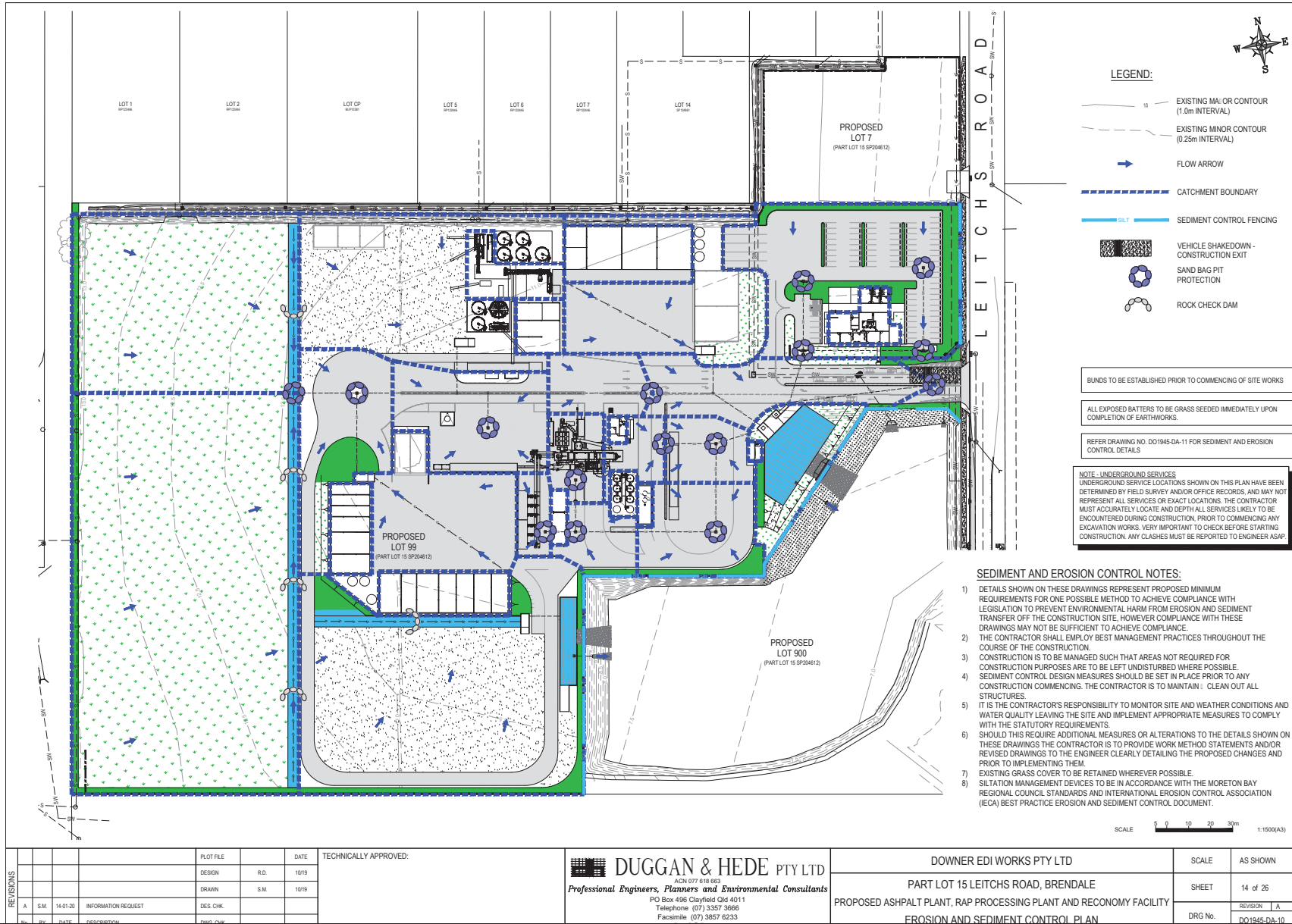
OWNER EDI WORKS PTY LTD
 PART LOT 15 LEITCHS ROAD, BRENDALE
 PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY
 STORMWATER DRAINAGE - BIORETENTION BASIN 2 (4 of 5)

SCALE	AS SHOWN
SHEET	12 of 26
DRG No.	REVISION LA DQ1945-DA-08

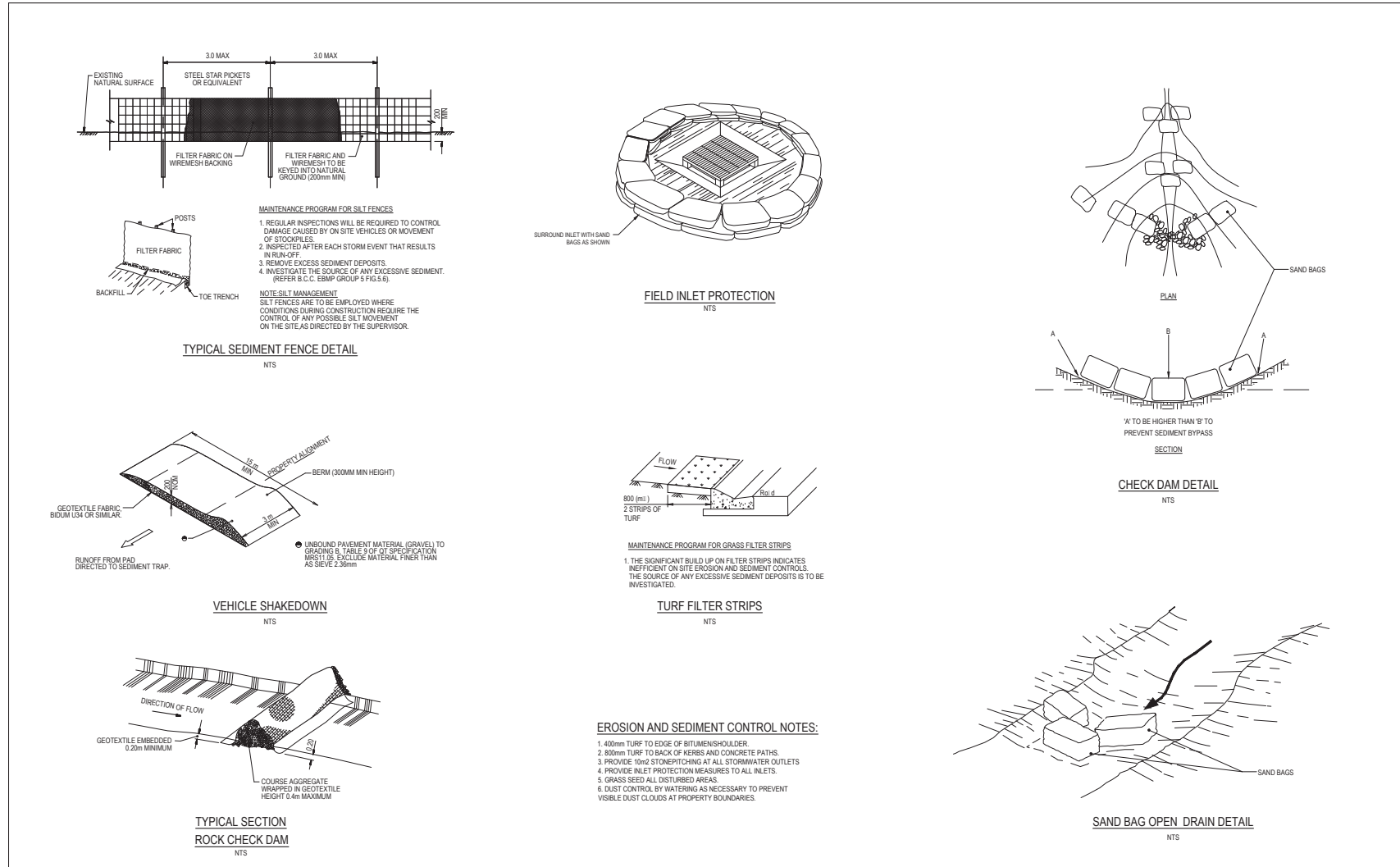
ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



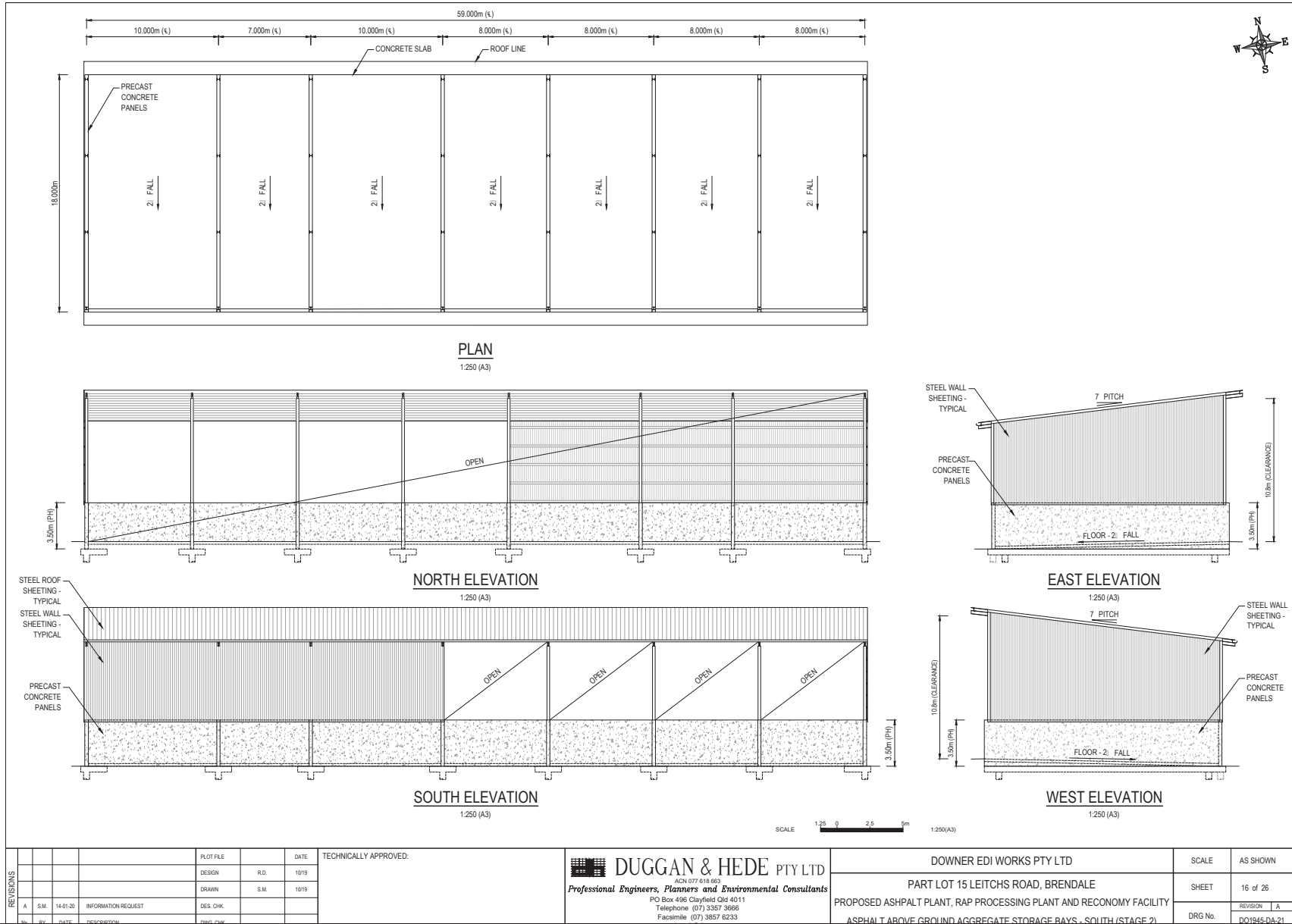
SILT MANAGEMENT DETAILS AND MAINTENANCE PROGRAMS.

NO.	REV.	DATE	DESCRIPTION	DRAWN	CHK.
A	S.M.	14.01.20	INFORMATION REQUEST	DES. CHK.	

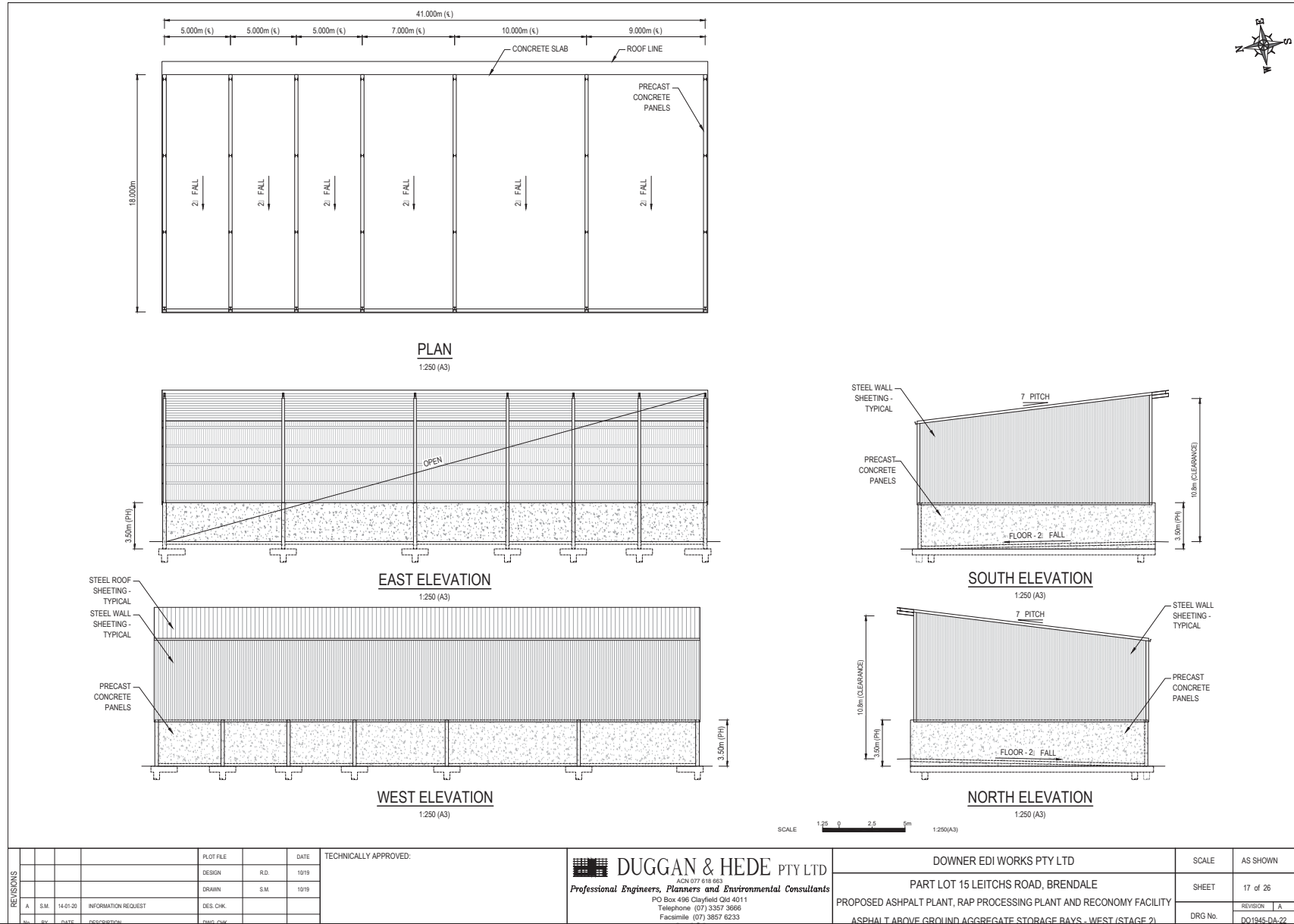

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OWNER: EDI WORKS PTY LTD	SCALE: AS SHOWN
PART LOT 15 LEITCHS ROAD, BRENDALE	SHEET: 15 of 26
PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY	REVISION: A
EROSION AND SEDIMENT CONTROL DETAILS	DRG No. D01945-DA.11

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



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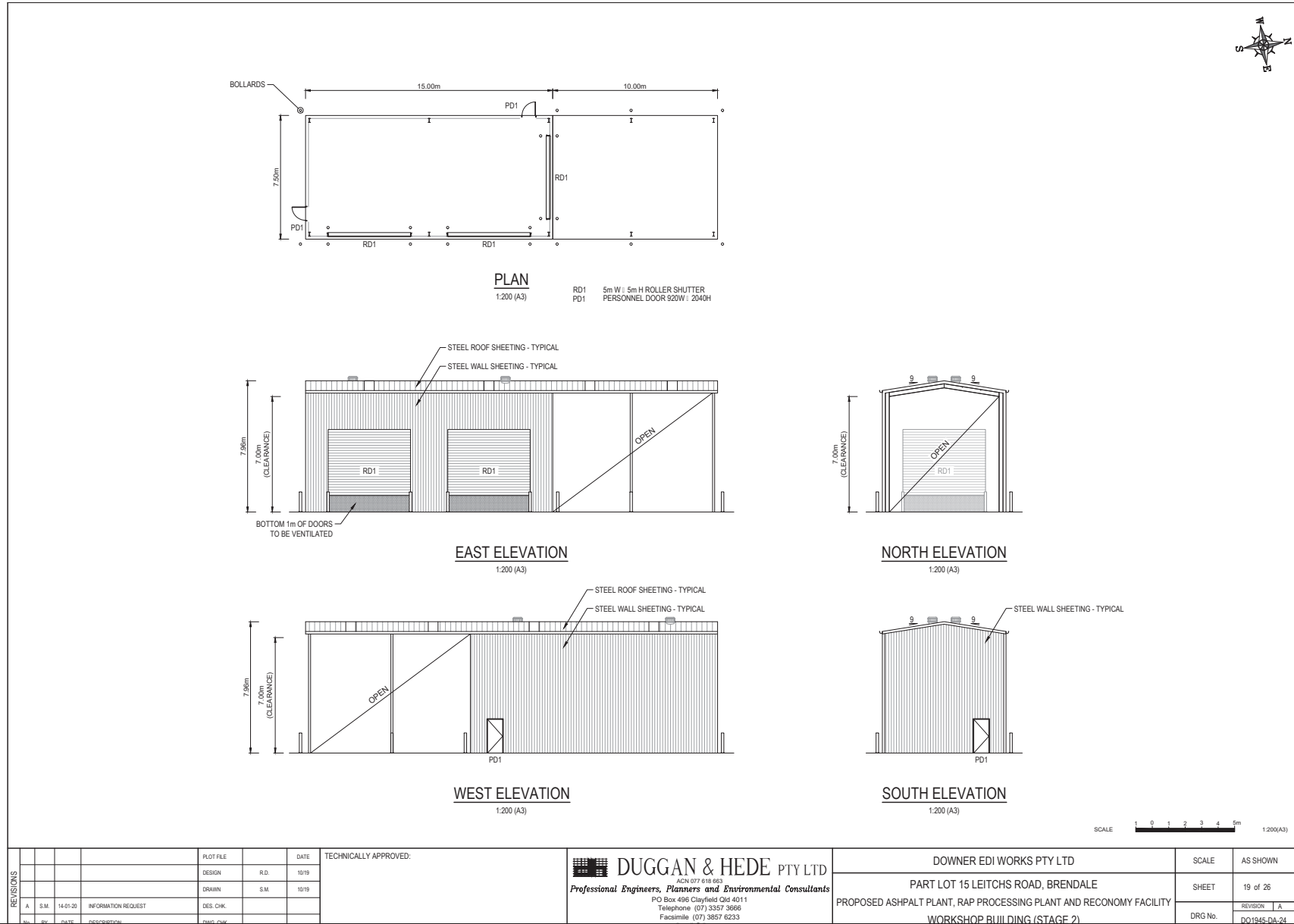
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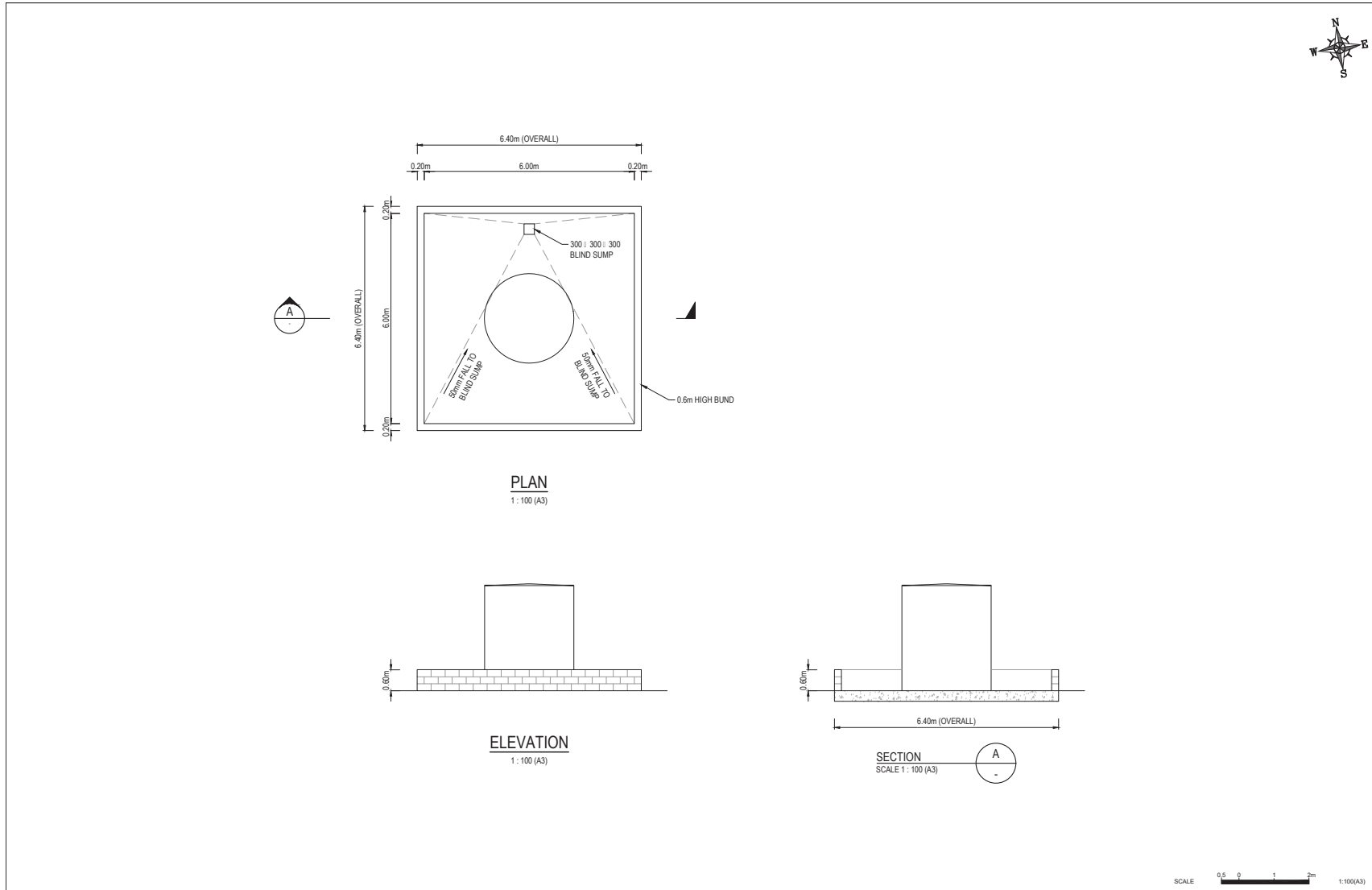
OWNER EDI WORKS PTY LTD
 PART LOT 15 LEITCHS ROAD, BRENDALE
 PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY
 ASPHALT ABOVE GROUND AGGREGATE STORAGE BAYS - NORTH (STAGE 4)

SCALE	AS SHOWN
SHEET	18 of 26
DRG No.	DD1945-DA-23

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



REVISIONS		NO.	DATE	DESCRIPTION	DRW. CHK.
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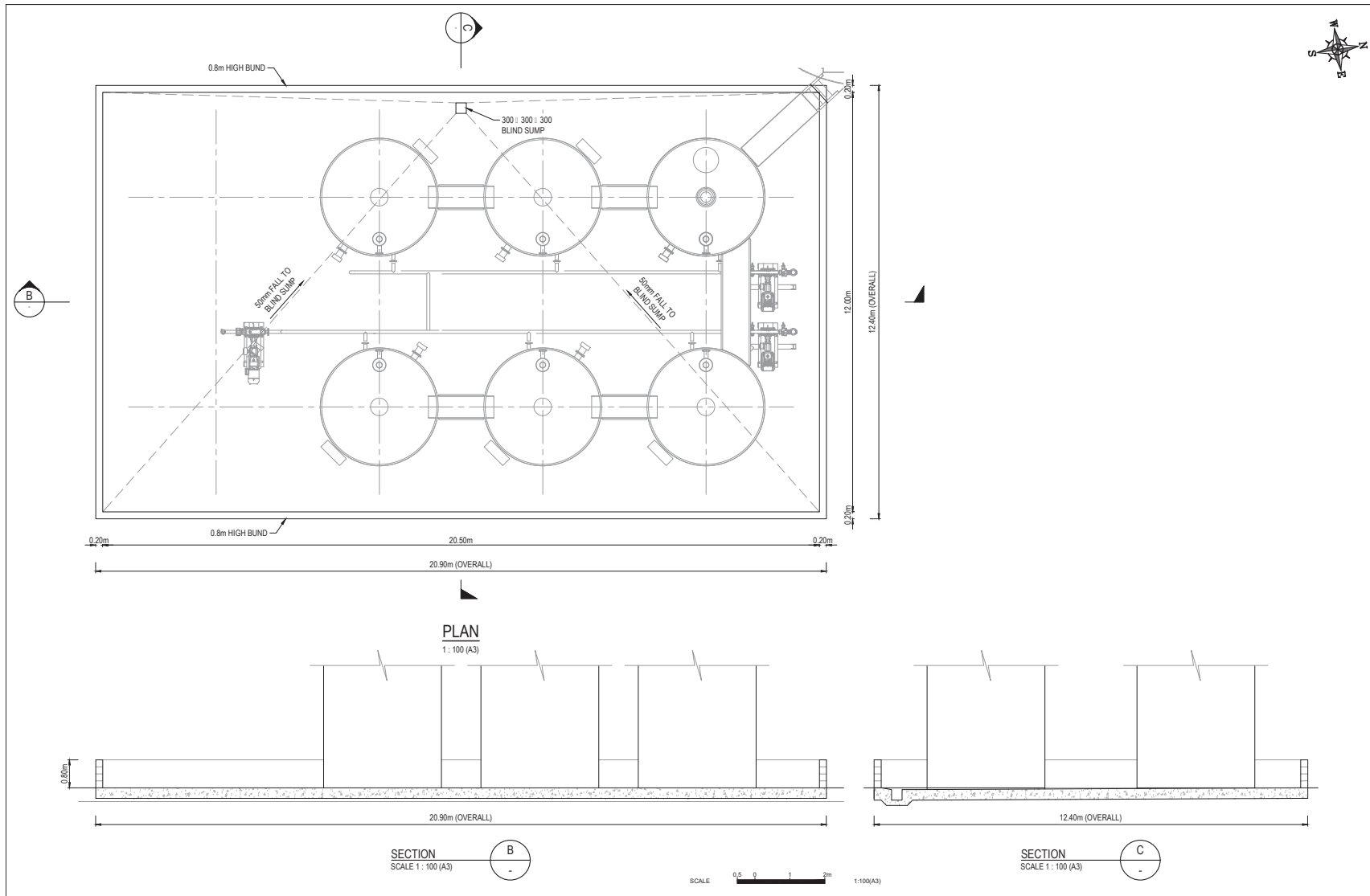
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OWNER	ED I WORKS PTY LTD
PROJECT	PART LOT 15 LEITCHS ROAD, BRENDALE PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY FMU I ION TANK FARM - STAGE 2

SCALE	AS SHOWN
SHEET	20 of 26
DRG No.	DD1945-DA-26

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



REVISIONS	No.	REV.	DATE	DESCRIPTION	DESIGNER	DRAWN	CHKD
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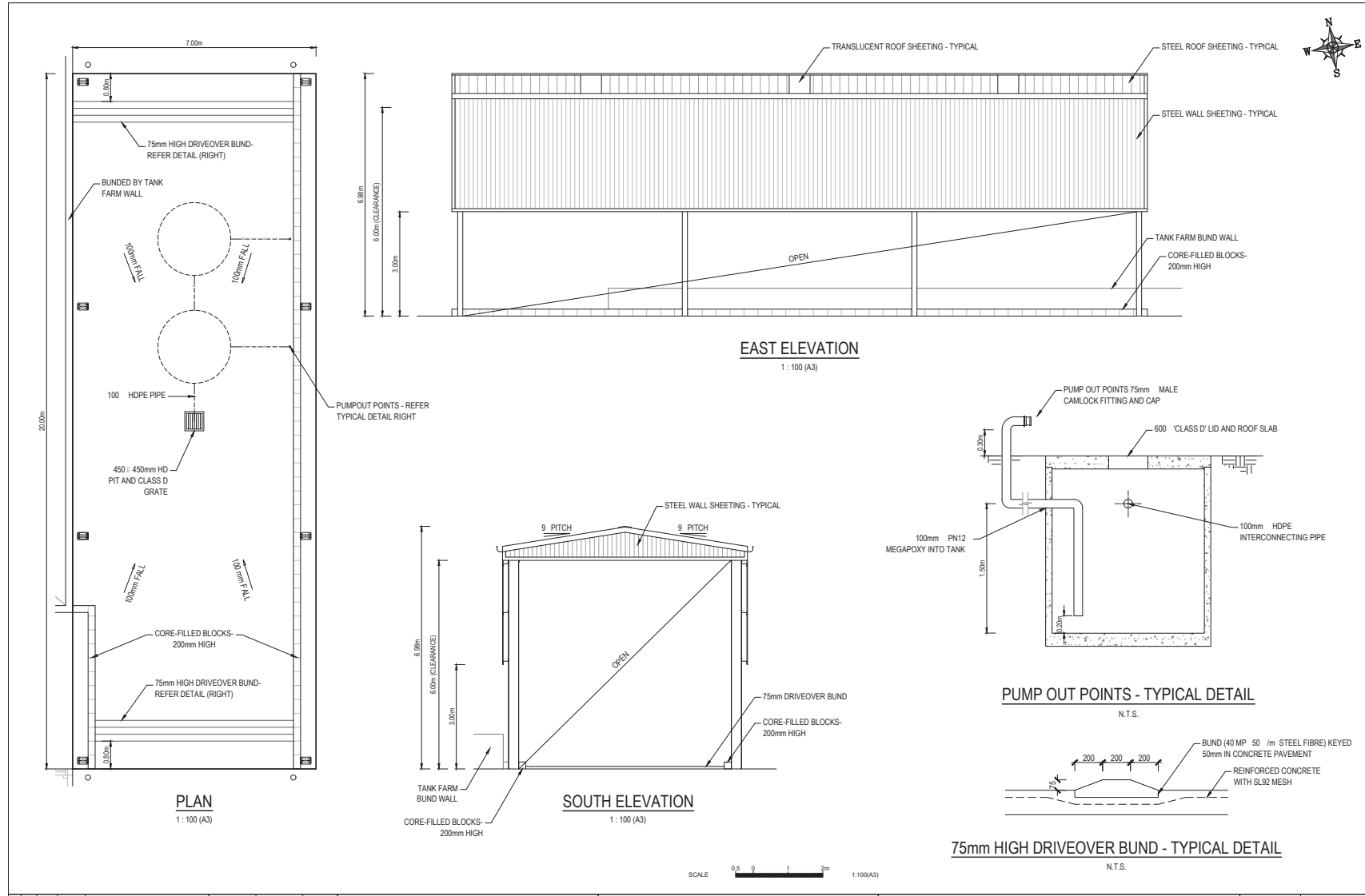
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OWNER EDI WORKS PTY LTD
 PART LOT 15 LEITCHS ROAD, BRENDALE
 PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY
 BITUMEN TANK FARM (STAGE 2)

SCALE	AS SHOWN
SHEET	21 of 26
REVISION	A
DRG No.	DO1945-DA-26

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



REVISIONS	No.	DATE	DESCRIPTION	DRAWN	CHECK
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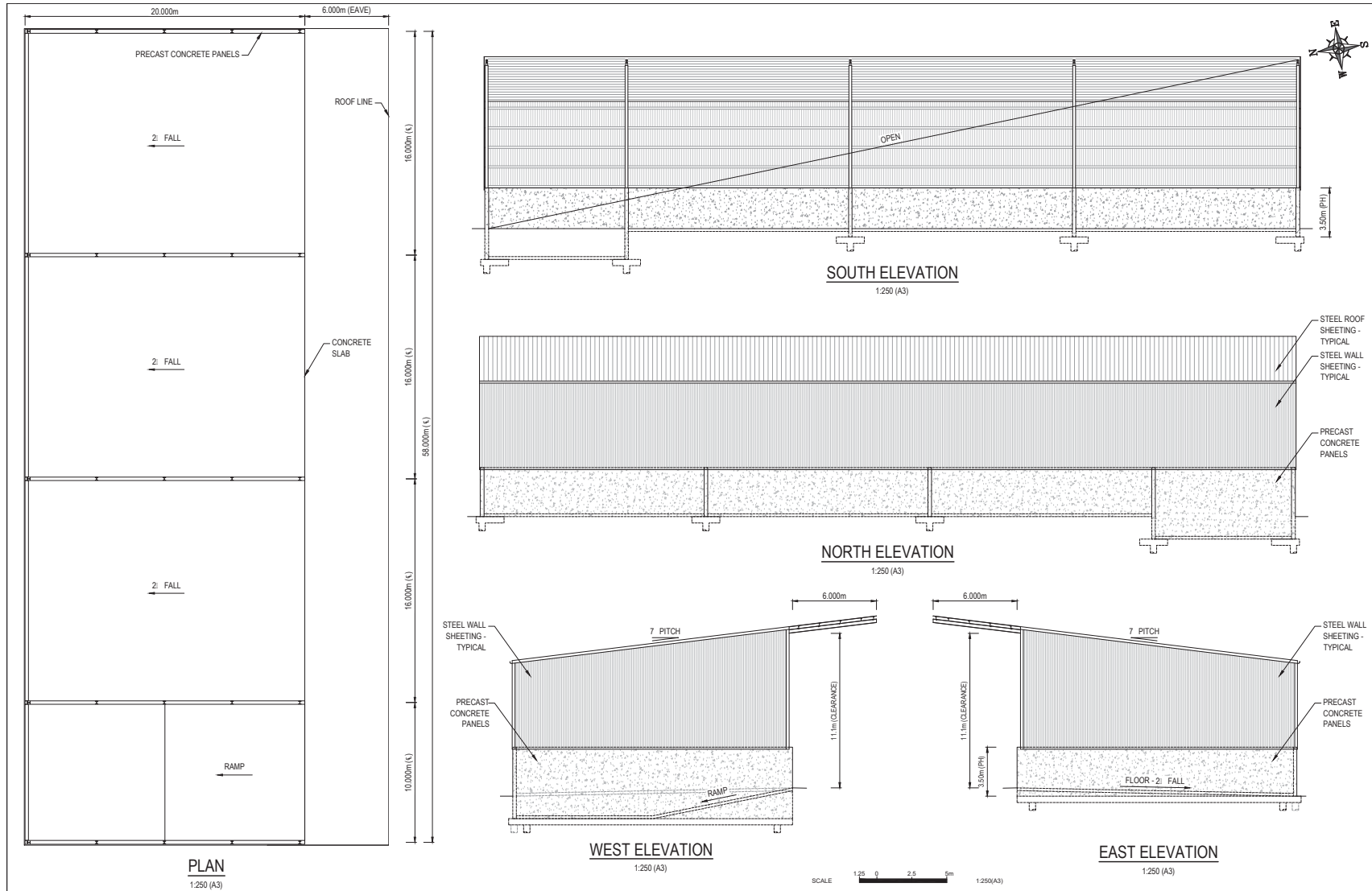
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DRAWN	S.M.	10/19

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OWNER	ED I WORKS PTY LTD
PROJECT	PART LOT 15 LEITCHS ROAD, BRENDALE PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY UNLOADING BUILDING (STAGE 2)

SCALE	AS SHOWN
SHEET	22 of 26
DRG No.	DD1946-DA-27

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



REVISIONS		NO.	DATE	DESCRIPTION	DESIGNER	DRAWN	DATE
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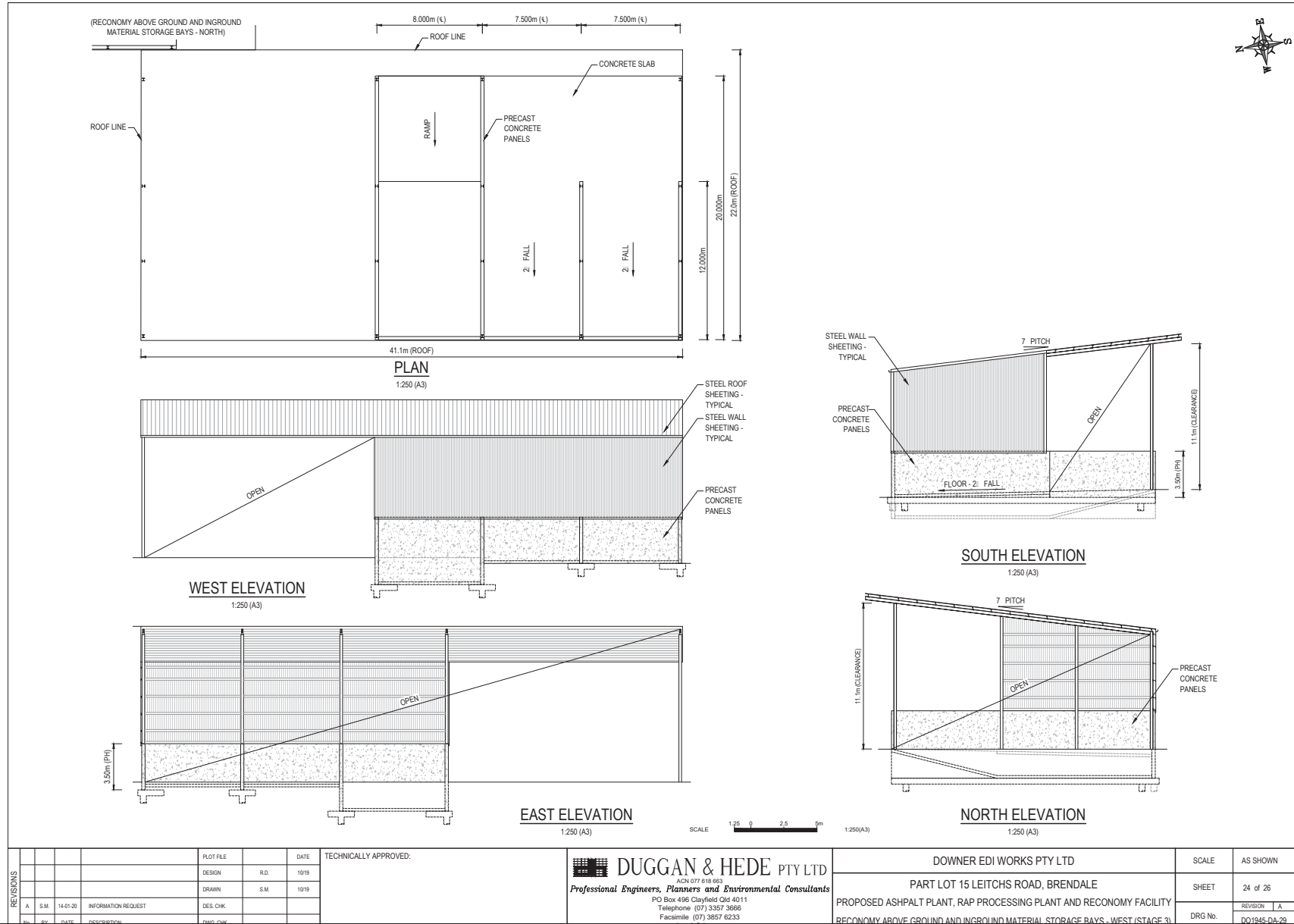
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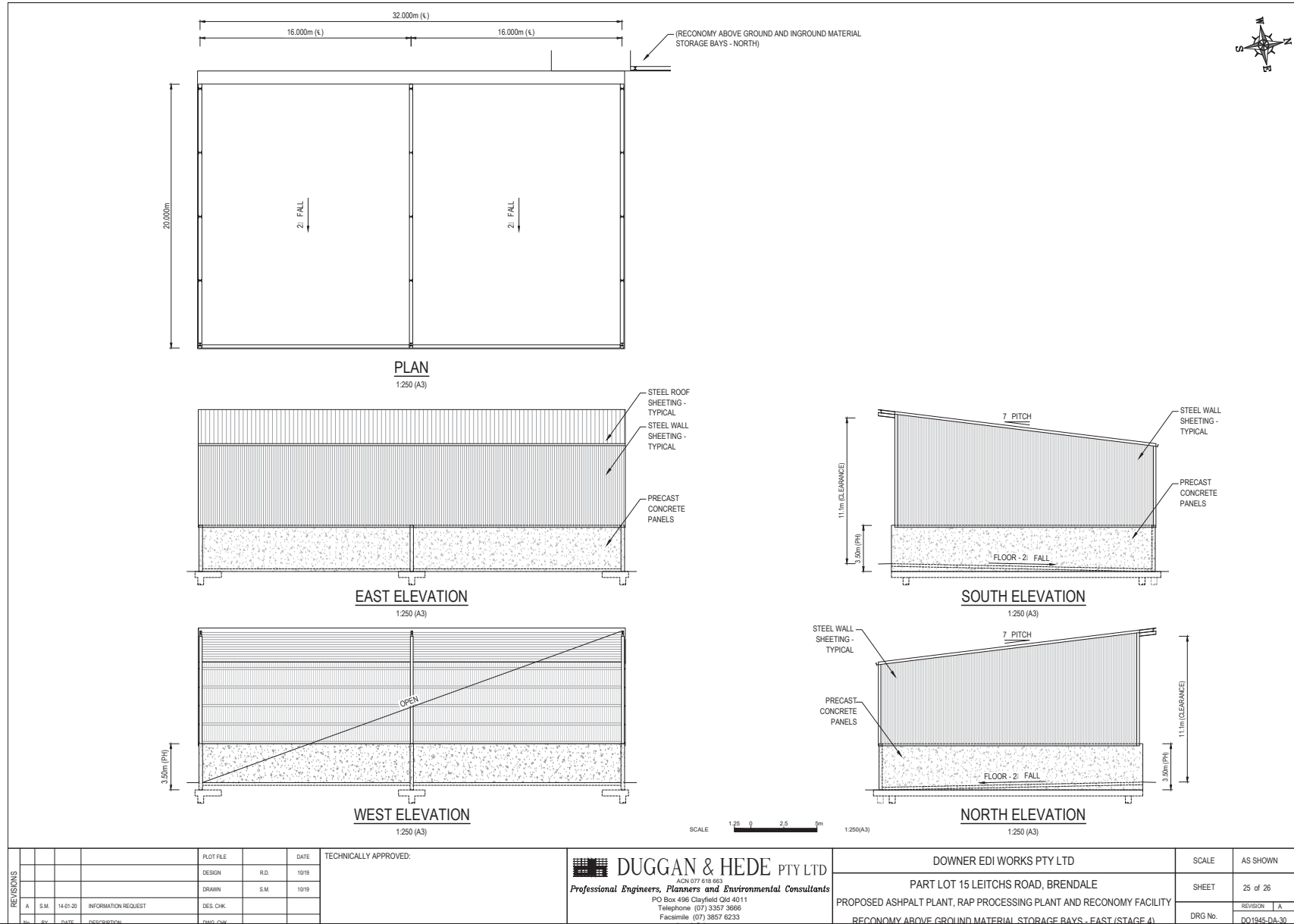
DOWNER EDI WORKS PTY LTD
 PART LOT 15 LEITCHS ROAD, BRENDALE
 PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY
 RECONOMY ABOVE GROUND AND INGROUND MATERIAL STORAGE BAYS - NORTH (STAGE 3)

SCALE	AS SHOWN
SHEET	23 of 26
DRG No.	DOI1945-DA-28

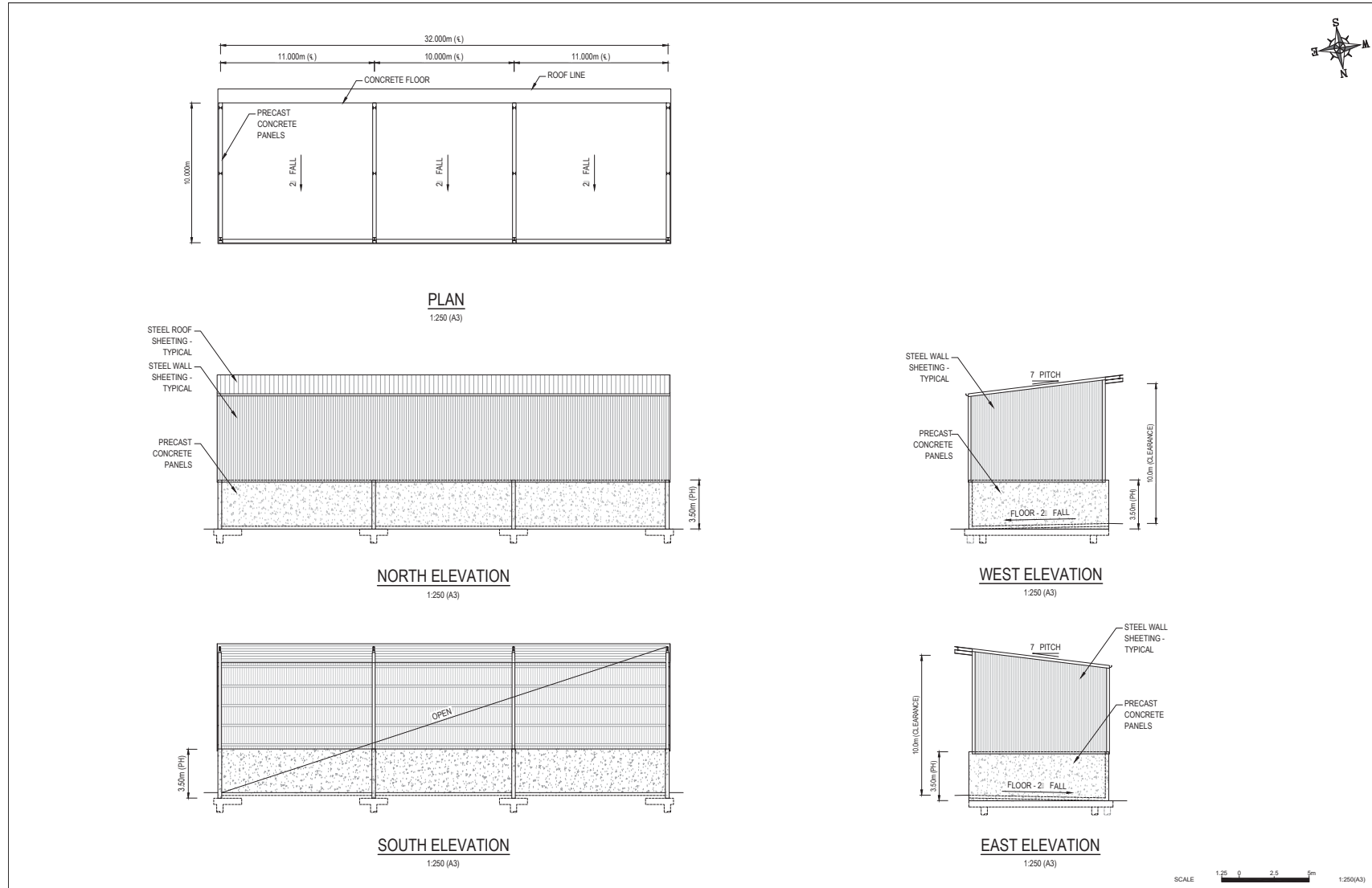
ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



REVISIONS	No.	REV.	DATE	DESCRIPTION	DESIGNER	CHK.
A	S.M.	14.01.20		INFORMATION REQUEST	DES. CHK.	

PLAT FILE	DATE	TECHNICALLY APPROVED:
DESIGN R.D.	10/19	
DRAWN S.M.	10/19	

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 Telephone (07) 3357 3666
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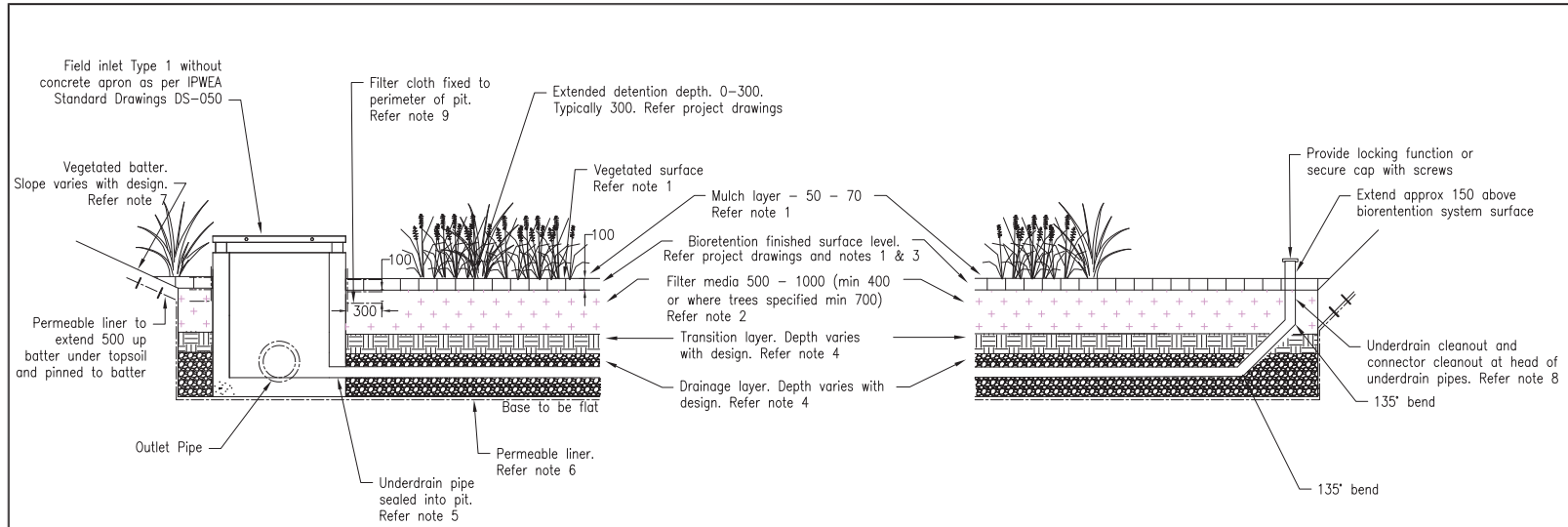
OWNER EDI WORKS PTY LTD	SCALE	AS SHOWN
PART LOT 15 LEITCHS ROAD, BRENDALE	SHEET	26 of 26
PROPOSED ASPHALT PLANT, RAP PROCESSING PLANT AND RECONOMY FACILITY	REVISION	A
PUGMILL ABOVE GROUND MATERIAL STORAGE BAYS - NORTH (STAGE 4)	DRG No.	DD1946-DA-31

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
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INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



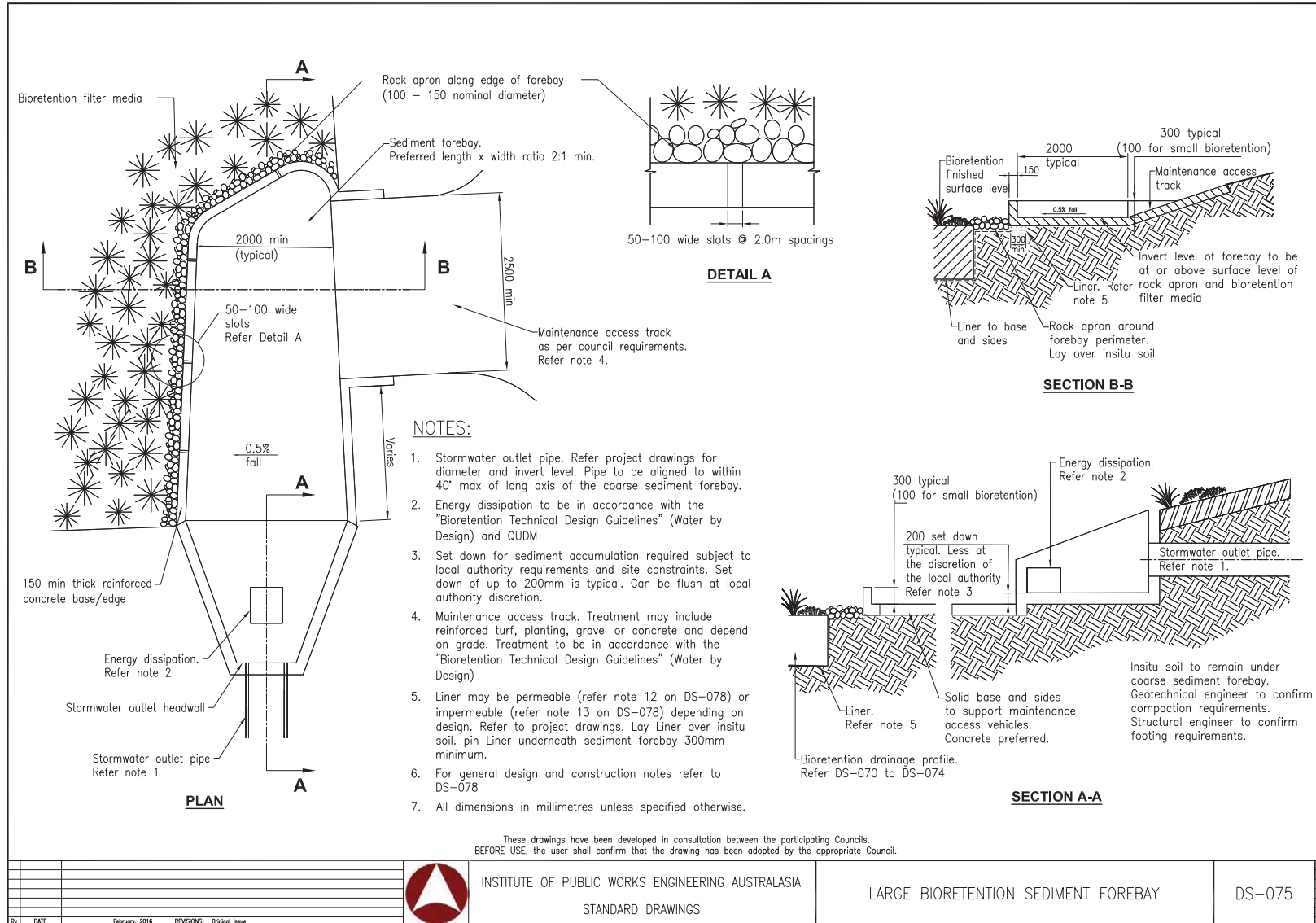
NOTES:

1. Bioretention system surface. Refer note 1 DS-070
2. Filter media specification. Refer note 2 DS-070
3. Construction tolerances. Refer note 3 DS-070
4. Transition layer and drainage layer. Refer note 4 DS-070
5. Underdrain. Refer note 5 DS-070
6. Permeable liner. Non-woven geotextile filter cloth to base and sides of bioretention system. Filter cloth not to be placed between any filter layers. Permeable liner as per project drawings and "Bioretention Technical Design Guidelines" (Water by Design).
7. Vegetated batter. Refer note 8 DS-070
8. Inspection/cleanout point. Refer note 9 DS-070
9. Filter cloth refer note 10 DS-070
10. For general design and construction notes refer to DS-078
11. All dimensions in millimetres unless otherwise noted.

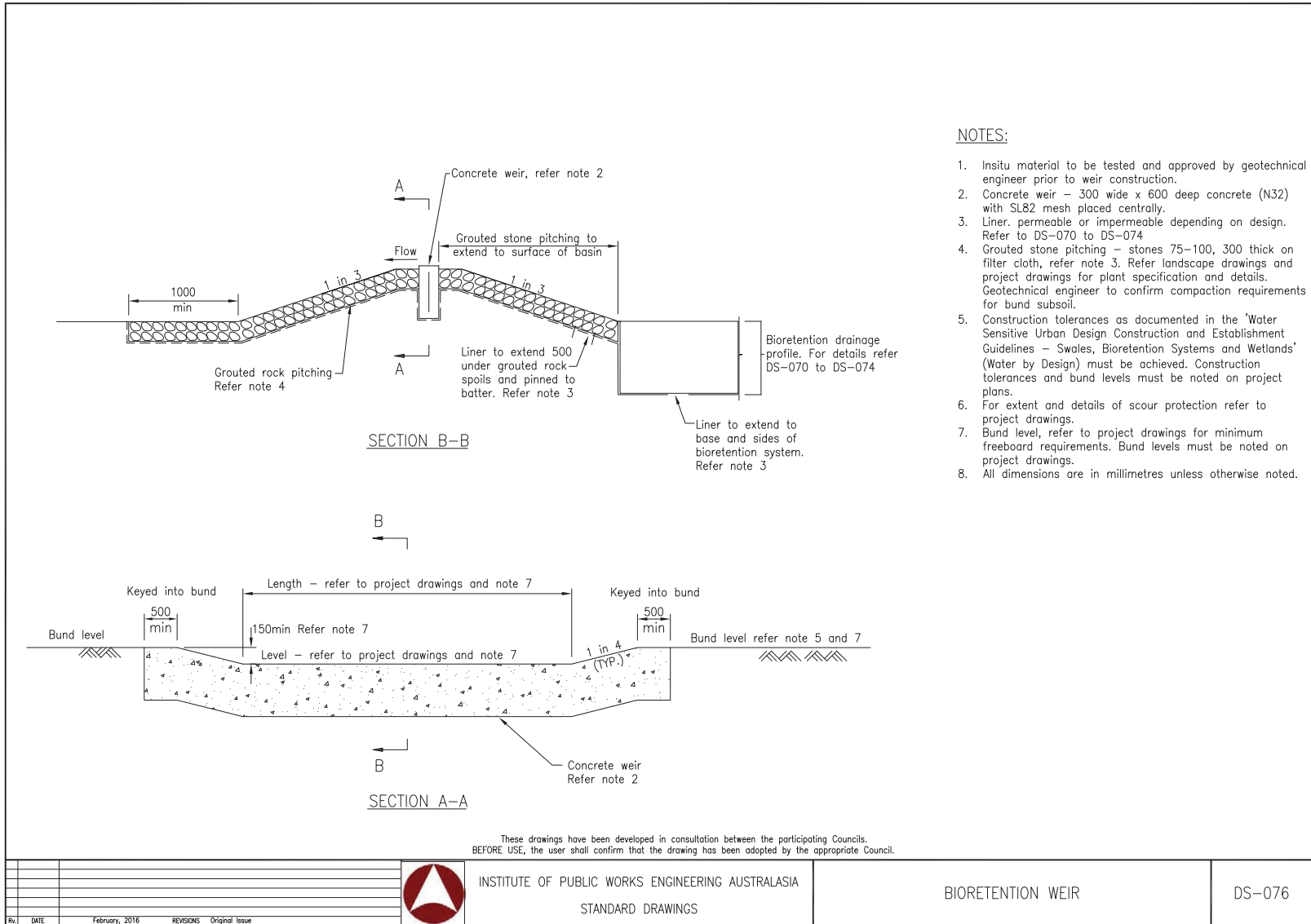
These drawings have been developed in consultation between the participating Councils.
BEFORE USE, the user shall confirm that the drawing has been adopted by the appropriate Council.

			INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALASIA	BIORETENTION DRAINAGE PROFILE – TYPE 3 CONVENTIONAL	DS-073
			STANDARD DRAWINGS		
Rev.	DATE	February, 2016	REVISIONS	Original Issue	Rev.


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These drawings have been developed in consultation between the participating Councils.
BEFORE USE, the user shall confirm that the drawing has been adopted by the appropriate Council.

		INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALASIA STANDARD DRAWINGS	BIORETENTION WEIR	DS-076
No. DATE February, 2016	REVISIONS Original Issue			

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Biotretention System Specification																																								
<p>1. Referenced documents</p> <p>The following documents are incorporated into this specification by reference:</p> <p>1.1. Standards</p> <p>1.1.1. AS 1289 - Methods of Testing Soils for Engineering Purposes</p> <p>1.1.2. AS 1289.5.4.1-2007 - Soil Compaction and Density Tests-Compaction Control Test-Dry Density Ratio, Moisture Variation and Moisture Ratio</p> <p>1.1.3. AS 1289.5.7.1-2006 - Soil Compaction and Density Tests-Compaction Control Test-Hill Density Ratio and Hill Moisture Variation (rapid method)</p> <p>1.1.4. AS 2758 - Aggregates and Rock for Engineering Purposes</p> <p>1.1.5. AS 4419 - Soils for Landscaping and Garden Use</p> <p>1.1.6. 1.1.6 AS 4454 - Composts, Soil Conditioners and Mulches</p> <p>1.2. Other publications</p> <p>1.2.1. Guidelines for Soil Filter Media in Biotretention Systems (FAWB) - the current version of the guideline can be found at http://www.monash.edu.au/FAWB/</p> <p>1.2.2. Construction and Establishment Guidelines - Swales, Biotretention systems and Wetlands (Water by Design) http://waterbydesign.com.au/ocguide/</p> <p>1.2.3. Transferring Ownership of Vegetated Stormwater Assets (Water by Design) http://waterbydesign.com.au/transfersguide/</p> <p>1.2.4. Transferring Ownership of Vegetated Stormwater Assets (Water by Design) http://waterbydesign.com.au/transfersguide/</p> <p>1.2.5. Biotretention Technical Design Guidelines (Water by Design) http://waterbydesign.com.au/techguide/</p> <p>1.2.6. Water Sensitive Urban Design Field Guide (Water by Design)</p> <p>2. Abbreviations and definitions</p> <p>2.1. The bioretention system specification consists of the following abbreviations and definitions:</p> <p>2.2. Filter: soil layer which acts as a pollutant filter and supports plant growth.</p> <p>2.3. Impermeable liner: the liner that prevents water movement between the filter and the surrounding soils and defines the edge of the system.</p> <p>2.4. Transition layer: layer to separate filter layer from the drainage layer to avoid migration of soils from the filter to the drainage layer.</p> <p>2.5. Drainage layer: relatively free draining layer to convey infiltrated water to the under-drainage.</p> <p>2.6. Under-drains: slotted drains collect treated stormwater from the drainage layer at the base of the bioretention system.</p> <p>3. Test methods and standards</p> <p>3.1. The following test methods and standards are to be used as specified in the above guidelines when conducting tests associated with this specification:</p> <p>3.2. The hydraulic conductivity of potential filter media shall be measured using the ASTM F1815-11 method</p> <p>3.3. Particle size distribution: AS1289.3.6.1 - 1995</p> <p>3.4. Soils for landscaping and garden use: AS4419 - 2003.</p> <p>4. Materials</p> <p>4.1. Materials shall meet the required specifications detailed in Section 8 Filter media, Section 9 Transition layer, Section 10 Drainage layer, Section 11 Under-drainage, Section 12 Permeable liner, Section 13 Impermeable liner and Section 14 Landscaping of this document.</p> <p>4.2. All materials must be certified by the supplier with certification and delivery supply dockets shall be provided on request to certify the material delivered is the material tested.</p> <p>5. Timing and erosion and sediment control</p> <p>5.1. The timing of civil and landscape works for bioretention systems must be carefully planned to ensure that both the bioretention system and the downstream waterways, are not impacted by stormwater and sediment (e.g. through best practice erosion and sediment control). In particular, the drainage layer, transition layer and filter media must not be placed until the risk of high sediment loading from upstream construction activities has been mitigated. The construction sequence must be approved by the superintendent.</p> <p>5.2. Erosion and sediment control during construction must be delivered in accordance with all legislative requirements including, where required, the preparation of site-specific ESC plan/s in accordance with current Best Practice Erosion and Sediment Control (e.g. IECA 2008, or later version).</p> <p>6. Earthworks and hydraulic structures</p> <p>6.1. The construction of hydraulic structures must ensure the design levels are achieved. Bunds/embankments surrounding the system shall be at correct levels. The below table summarises the construction tolerances for each element of a typical bioretention system.</p> <p>6.2. Biotretention systems tolerances</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 60%;">Biotretention element</th> <th style="width: 40%;">Tolerance (unless specified otherwise)</th> </tr> </thead> <tbody> <tr> <td>Hydraulic structures</td> <td>+/- 25 mm (+/- 15 mm for streetscape systems)</td> </tr> <tr> <td>Earthworks</td> <td>+/- 50 mm</td> </tr> <tr> <td>Under-drainage</td> <td>+/- 25 mm</td> </tr> <tr> <td>Drainage and transition layers</td> <td>+ 25 mm</td> </tr> <tr> <td>Surface level</td> <td>+/- 25 mm +/- 40 mm for filter media >300 m² provided the average extended detention requirement is within 25 mm of the design requirement.</td> </tr> <tr> <td>Embankments and bunds</td> <td>>25 mm, + 50 mm</td> </tr> </tbody> </table>	Biotretention element	Tolerance (unless specified otherwise)	Hydraulic structures	+/- 25 mm (+/- 15 mm for streetscape systems)	Earthworks	+/- 50 mm	Under-drainage	+/- 25 mm	Drainage and transition layers	+ 25 mm	Surface level	+/- 25 mm +/- 40 mm for filter media >300 m ² provided the average extended detention requirement is within 25 mm of the design requirement.	Embankments and bunds	>25 mm, + 50 mm	<p>7. Maintenance access.</p> <p>Maintenance access is provided in accordance with the design drawings.</p> <p>8. Filter media</p> <p>8.1. Materials</p> <p>A fundamental part of bioretention systems is the filter media. The main role of the filter media is to support vegetation and remove pollutants. Filter media should be loamy sand that has high permeability when compacted. It should not contain any rubbish or deleterious material. The loamy sand should contain some organic matter to improve water-holding capacity and plant health, but it should be low in nutrient content. The filter media must be compliant with AS4419 - Soils for Landscaping and Garden Use, and meet the following requirements:</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 20%;">Parameter</th> <th style="width: 20%;">Test method in accordance with</th> <th style="width: 60%;">Requirement</th> </tr> </thead> <tbody> <tr> <td>Saturated hydraulic conductivity</td> <td>ASTM 1181C-11</td> <td>50 - 500 mm/hr (200 preferred)</td> </tr> <tr> <td>pH</td> <td>AS 4419</td> <td>5.0 - 7.5</td> </tr> <tr> <td>Electrical conductivity</td> <td>AS 4419</td> <td><1.2 dS/m</td> </tr> <tr> <td>Nitrogen content</td> <td>AS 4419</td> <td><800 mg/kg</td> </tr> <tr> <td>Phosphorus content</td> <td>AS 4419</td> <td><40 mg/kg</td> </tr> <tr> <td>Organic content</td> <td>AS 4419</td> <td>3% - 10%. Where organic content is below this threshold, the filter media may be ameliorated by adding 50 mm of compost and mixing it into the top 150 mm of filter media.</td> </tr> <tr> <td>Particle size distribution</td> <td>AS 1289.3.6.1 - 1995</td> <td>Clay & silt 3 - 6% (<0.05 mm) Fine sand 9 - 30% (0.05 - 0.15 mm) Fine sand 10-30% (0.15 - 0.25 mm) Medium to coarse sand 40-60% (0.25 - 1.0 mm) Coarse sand 7 - 10% (1.0 - 2.0 mm) Fine gravel <3% (2.0 - 3.4%)</td> </tr> </tbody> </table> <p>Source: Guidelines for Soil Filter Media in Biotretention Systems (FAWB) and Biotretention Technical Design Guidelines (Water by Design)</p> <p>Filter media must be free of weeds and propagates. Other characteristics of the filter media required for plant growth should be confirmed with a soil analysis or confirmed with a horticultural/landscape architect.</p> <p>8.2. Testing frequency</p> <p>Suitable filter media can be delivered to site or imported sand can be ameliorated to meet the above specification. In either case, the media shall be tested against the above parameters at one sample per 500 m² of filter media. For soil supplied to site, testing must be undertaken on the actual material to be delivered to the bioretention system. The supplier and contractor will be responsible for ensuring the filter media meets the specification and the correct material is delivered to site prior to installation.</p> <p>8.3. Installation and compaction</p> <p>When installing, the following specifications shall be applied:</p> <p>8.3.1. Filter media shall be installed and compacted in two lifts for depths of over 500 mm. Compaction shall be light and even across the surface.</p> <p>8.3.2. The top surface of the drainage layer, transition layer and the filter media layer shall be level and free from localised depressions to ensure even distribution of stormwater flows across the surface and prevent localised ponding.</p> <p>8.3.3. Filter fabric must not be used between drainage layer, transition layer and the filter media layers or wrapped around the under-drainage</p> <p>9. Transition layer</p> <p>9.1. Transition layers prevent filter media migrating into the drainage layer.</p> <p>9.1.1. Materials</p> <p>9.1.1.1. Transition layer shall be minimum thickness of 100 mm coarse sand unless otherwise specified (typically 1mm particle size diameter) with <2% fines.</p> <p>9.1.1.2. A particle size distribution for the sand shall be obtained to ensure that it meets the following criteria (VicRoads).</p> <p>9.1.1.3. D15 (transition layer) ≤ 5 x D85 (filter media)</p> <p>9.2. Testing</p> <p>A sample of the proposed transition layer is to be provided to the superintendent for approval prior to installation. The superintendent may require the transition layer to be tested to ensure its particle size.</p> <p>10. Drainage layer</p> <p>Drainage layers convey infiltrated water into the slotted under-drainage pipes.</p> <p>10.1. Materials</p> <p>10.1.1. Drainage layer shall be comprised of fine gravel (nominal 2.5 mm) with <2% fines and a minimum saturated hydraulic conductivity of 400 mm/hr. The depth of the drainage layer shall ensure at least 50 mm of aggregate cover over all perforated under-drainage pipes.</p> <p>10.1.2. A particle size distribution for the gravel shall be obtained to ensure that it meets the following grading criteria (VicRoads): D15 (drainage layer) ≤ 5 x D85 (transition layer)</p> <p>10.2. Testing</p> <p>A sample of the proposed drainage layer is to be provided to the superintendent for approval prior to installation. The superintendent may require the drainage layer to be tested to ensure its particle size.</p> <p>11. Under-drainage</p> <p>11.1. Materials</p> <p>Either slotted rigid pipe (HDPE or similar) or apple core can be used for under-drainage as specified in the construction drawings. When installing, the following specifications shall be considered:</p> <p>11.1.1. Typically 100 mm-slotted HDPE pipe is the preferred type of rigid pipe.</p> <p>11.1.2. The slots in the pipe shall not allow the drainage layer aggregate to freely enter the pipe (under-drainage with slot width of 2 mm or smaller is preferred).</p> <p>11.1.3. Under-drainage pipes must not be surrounded by any geofabric or sock.</p> <p>11.2. Installation</p> <p>11.2.1. The maximum spacing of under-drains for bio-retention systems <100 m² is 1.5 m from centre to centre. For bioretention systems >100 m² the maximum spacing can be increased to 2.0 - 2.5 m if specified in the construction drawings.</p> <p>11.2.2. The under-drains shall be sloped towards the outlet pit (min. 0.5% longitudinal grade) and the base of the drain trench shall be free from localised depressions. For bioretention systems with a saturated zone a 0% pipe grade is acceptable.</p> <p>11.2.3. All junctions and connections shall be appropriately sealed.</p> <p>11.2.4. Under-drainage pipes shall be sealed into the overflow pit.</p> <p>11.2.5. All under-drainage pipes to have raised clean out points constructed from non-slotted pipes which extend to 150 mm above filter media surface</p> <p>12. Permeable liner (where specified)</p> <p>12.1. A permeable geotextile liner fabric must be used to line the outside of the bioretention system.</p> <p>12.2. The liner must extend at least 500 mm beyond the top of the sides and must be keyed into batter and covered by at least 200 mm of topsoil.</p> <p>12.3. The liner must be resistant to all soil acids and alkalis, resistant to microorganisms and comply with the requirements of AS3706.12 and AS3706.13.</p> <p>13. Impermeable liner (where specified)</p> <p>13.1. Materials</p> <p>Liner options include clay, geosynthetic bentonite clay liners or high-density poly ethylene (HDPE) liners. Refer to the project drawings for liner details.</p> <p>13.2. Installation</p> <p>Installation must be in accordance with manufacturers specifications and design drawings and achieve the following:</p> <p>13.2.1. The liners shall be keyed into the batters and to the embankments.</p> <p>13.2.2. Liners must be sealed around protrusions such as outlet pipes.</p> <p>13.2.3. Must achieve a maximum permeability of 1x10⁻⁹m/s</p> <p>14. Landscaping</p> <p>14.0. Refer to landscape design drawings.</p> <p>14.1. Batter slopes must have min 200 mm topsoil which must be tested by a NAT-accredited laboratory in accordance with AS 4419.</p> <p>14.2. Subsoils to be cultivated to 150 mm prior to placing topsoil on batter slopes.</p> <p>14.3. Planting densities and species must be consistent with the landscape design drawings. No substitutions should be made unless approved by the superintendent.</p> <p>14.4. Plants supplied to site must:</p> <p>14.4.1. be grown in clean, weed- and pest-free conditions;</p> <p>14.4.2. be well developed, sun-hardened and contain a fully established root ball that does not crumble when removed from its container.</p> <p>14.4.3. be at least 200 mm high.</p> <p>14.4.4. show no sign of pest and disease</p> <p>14.4.5. show no signs of nutrient deficiency</p> <p>14.4.6. be free from weeds</p> <p>14.4.7. be clearly labelled</p> <p>14.4.8. be supplied in a container that is at least 90 mm high x 50 mm wide</p> <p>14.5. Preparing Filter media: Unless specified otherwise, each plant must receive at least 10 g of slow-release native fertilizer in granular or tablet form. Phosphatated water crystals may be applied at 12% by weight.</p> <p>14.6. Mulch must be applied in accordance with the design drawings, be applied prior to planting, provide coverage of the soil and not exceed 75 mm thickness, and be kept 50 mm clear of plant stems. Unless otherwise specified, mulch should be fine sugar cane mulch secured in place by a loose weave jute net pinned at 500 mm centres.</p> <p>14.7. Filter media surface and plant stock are to be watered immediately prior to planting. Unless otherwise specified, plants should be planted in dumps of the same species, and large monocultures avoided.</p> <p>14.8. Plant method must minimise soil compaction and ensure that all roots are covered by at least 10 - 20 mm of soil, avoid covering plant crowns.</p> <p>14.9. Unless specified otherwise, the following irrigation schedule applies during plant establishment (at 2.5 - 5 L per plant per week)</p> <ul style="list-style-type: none"> - Week 1-5 Five waterings per week - Week 6-10 Three waterings per week - Week 11-15 Two waterings per week - Thereafter As required to sustain plants until successful establishment <p>14.10. Replanting must occur during the establishment period if less than 90% of plants survive.</p> <p>14.11. Successful plant establishment in bioretention systems is considered when the plants are robust and self-sustaining, and meet the following criteria.</p> <ul style="list-style-type: none"> - Vegetation must cover at least 90% of the bioretention surface with much covering the remainder (< 10% mulch visible from above) - Average groundcover plant height must be greater than 500 mm. - Plants must be healthy and free from disease. - No weeds or litter to be present. <p>15. Certification and chain of custody</p> <p>15.1. The following certification and the chain of custody applies to bioretention media:</p> <p>15.1.1. The supplier and contractor are responsible for ensuring the bioretention media meets the specifications outlined in these guidelines and that the correct material is delivered to site. The supplier must arrange for testing of the filter media by a soil laboratory certified for the methods in accordance with the requirements listed above. On the basis of the testing, the soil laboratory and supplier must certify the material meets these specifications. The supplier must provide the certification and laboratory test results to the contractor with the supply docket.</p> <p>15.1.2. The contractor provides a copy of the supplier's certification, test results and supply docket to the site superintendent or bioretention designer for review.</p> <p>15.1.3. Following review of the certification, test results and the supply docket, the site superintendent or bioretention designer approves installation of the bioretention media.</p> <p>15.1.4. The relevant sections of the bioretention media sign-off form as per the Construction and Establishment Guidelines (Water by Design) should be completed and signed. This sign-off form is provided as part of the construction certification by the site superintendent or bioretention designer.</p> <p>16. Hold points</p> <p>16.1. The following hold points must be observed in accordance with the most recent Water by Design construction checklists and superintendent approval is required for works to proceed:</p> <p>16.1.1. Prestart meeting</p> <p>16.1.2. Completion of hydraulic structures and under-drainage</p> <p>16.1.3. Prior to placing filter media</p> <p>16.1.4. After placement of filter media (prior to applying mulch and planting).</p> <p>17. Compliance testing (for on-maintenance or off-maintenance)</p> <p>17.1. Compliance testing must be in accordance with chapter 5 of Transferring Ownership of Vegetated Stormwater Assets (Water by Design). Checklists must be completed and signed by the superintendent.</p>	Parameter	Test method in accordance with	Requirement	Saturated hydraulic conductivity	ASTM 1181C-11	50 - 500 mm/hr (200 preferred)	pH	AS 4419	5.0 - 7.5	Electrical conductivity	AS 4419	<1.2 dS/m	Nitrogen content	AS 4419	<800 mg/kg	Phosphorus content	AS 4419	<40 mg/kg	Organic content	AS 4419	3% - 10%. Where organic content is below this threshold, the filter media may be ameliorated by adding 50 mm of compost and mixing it into the top 150 mm of filter media.	Particle size distribution	AS 1289.3.6.1 - 1995	Clay & silt 3 - 6% (<0.05 mm) Fine sand 9 - 30% (0.05 - 0.15 mm) Fine sand 10-30% (0.15 - 0.25 mm) Medium to coarse sand 40-60% (0.25 - 1.0 mm) Coarse sand 7 - 10% (1.0 - 2.0 mm) Fine gravel <3% (2.0 - 3.4%)	<p>Disclaimer: it is the responsibility of the certifying registered professional engineer to ensure these standard notes are adapted to the specific needs of the project. It is expected that additional drawing notes would be required to cover other important project issues (e.g. Workplace Health and Safety, Environmental Protection, Erosion and Sediment Control, etc). Healthy Waterways, IPWEA and all contributors to this document accept no liability for the use, misuse or any omission or inaccuracy in this document.</p>
Biotretention element	Tolerance (unless specified otherwise)																																							
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Organic content	AS 4419	3% - 10%. Where organic content is below this threshold, the filter media may be ameliorated by adding 50 mm of compost and mixing it into the top 150 mm of filter media.																																						
Particle size distribution	AS 1289.3.6.1 - 1995	Clay & silt 3 - 6% (<0.05 mm) Fine sand 9 - 30% (0.05 - 0.15 mm) Fine sand 10-30% (0.15 - 0.25 mm) Medium to coarse sand 40-60% (0.25 - 1.0 mm) Coarse sand 7 - 10% (1.0 - 2.0 mm) Fine gravel <3% (2.0 - 3.4%)																																						
<p>These drawings have been developed in consultation between the participating Councils. BEFORE USE, the user shall confirm that the drawing has been adopted by the appropriate Council.</p>																																								
<p>INSTITUTE OF PUBLIC WORKS ENGINEERING AUSTRALASIA</p> <p>STANDARD DRAWINGS</p>		<p>BIORETENTION STANDARD NOTES</p>																																						
		DS-078																																						
No.	DATE	REVISIONS																																						
	February, 2016	REVISIONS Original Issue																																						

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

15 LEITCHS RD BRENDALE

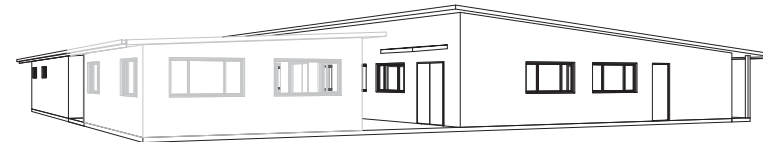


PROPOSED OFFICE/LAB/AMENITIES

FOR
Downer EDI Works PTY LTD

ARCHITECTURAL SCHEDULE

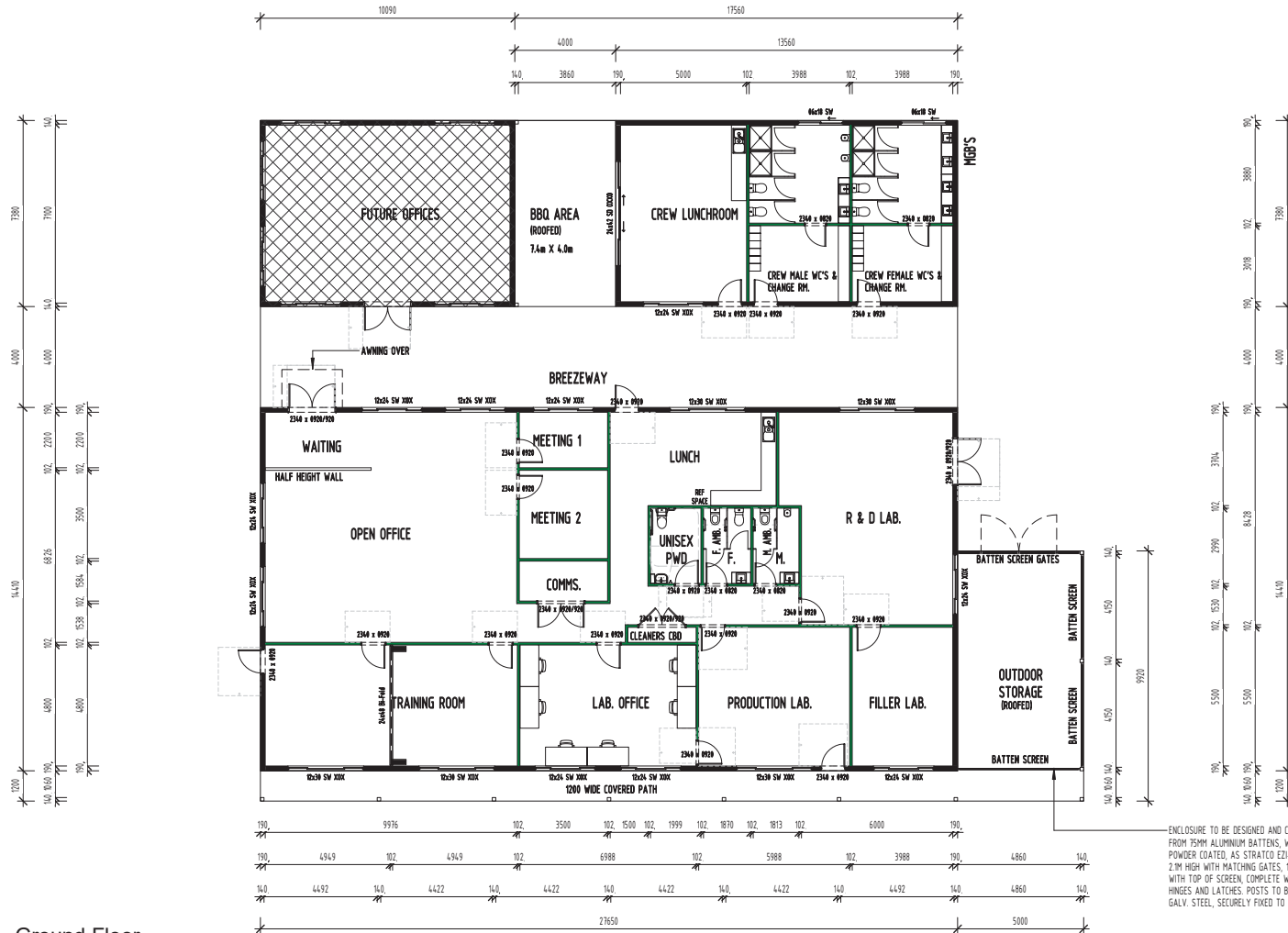
DRAWING NO:	DRAWING SCHEDULE	REVISION
A-00-00	Cover Sheet	2
A-01-01	Ground Floor Plan	2
A-02-01	Roof Plan	2
A-03-01	Elevations	2
A-04-01	Perspectives	2



Date :
30.10.19
Project No :
019-113(A)
Sheet No :
A-00-00

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

Floor Areas	
Name	Area
Main Offices	398.44 m ²
Breezeway	110.60 m ²
Crew Toilets	100.07 m ²
Future Offices	74.46 m ²
Outdoor Storage	4.96 m ²
Walkway	33.18 m ²
BBQ Area	29.52 m ²
	795.87 m ²
Grand total	795.87 m ²



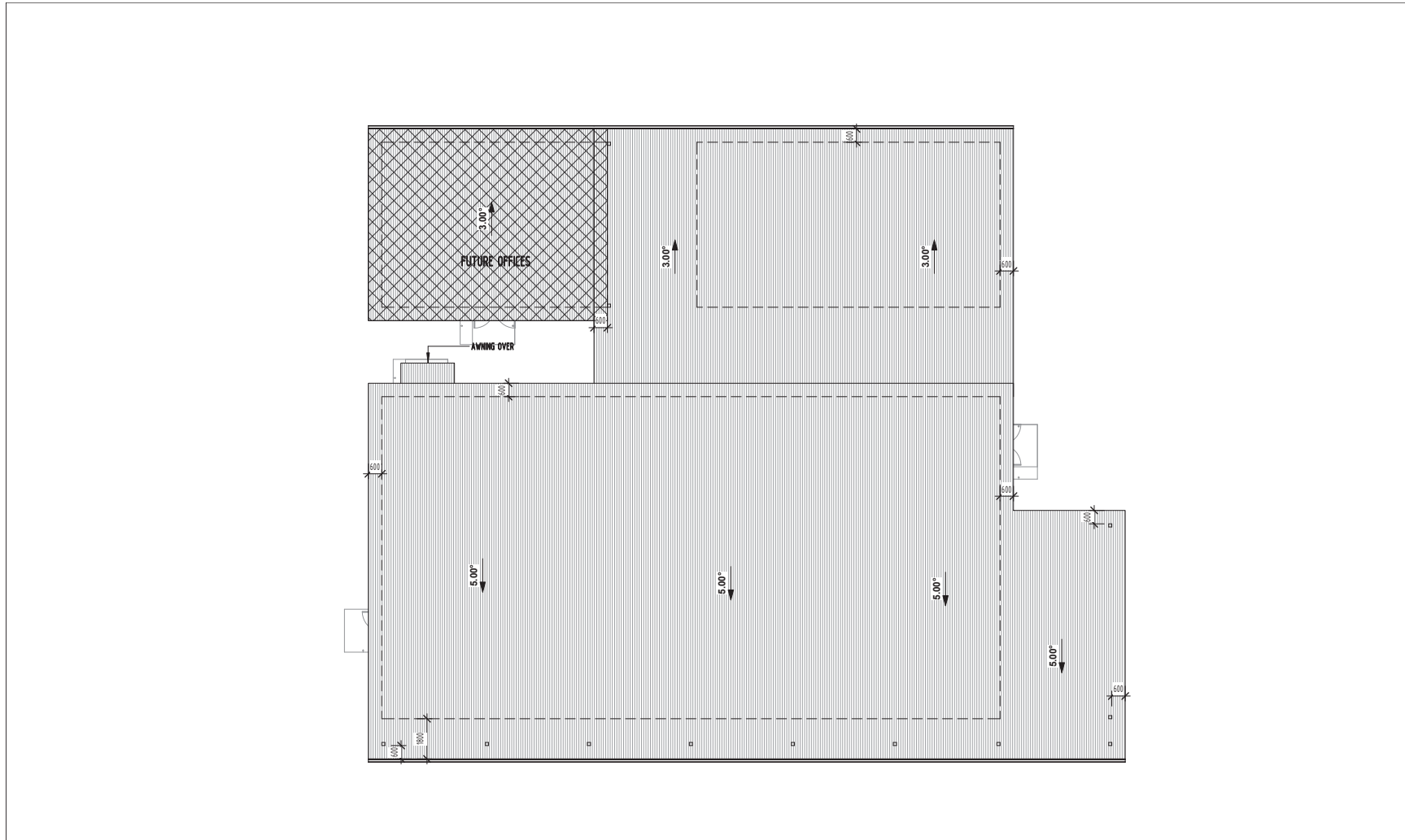
1 Ground Floor
Scale: 1 : 150

ENCLOSURE TO BE DESIGNED AND CONSTRUCTED FROM 75MM ALUMINIUM BATTENS, WITH 20MM GAPS, POWDER COATED, AS STRATOZ EZI-SLAT OR E.A. 2.1M HIGH WITH MATCHING GATES. 1.5M HIGH TO LINE WITH TOP OF SCREEN. COMPLETE WITH ROBUST HINGES AND LATCHES. POSTS TO BE MIN. 75MM SHS GALV. STEEL, SECURELY FIXED TO CONCRETE SLABS

<p>Mi DS Mi DESIGN STUDIO RESIDENTIAL // COMMERCIAL // INTERIORS</p>	<p>QLD // NSW // VIC</p> <p>Suite 10, 17 Albany Rd Bribie 4001 QLD PO Box 4704 GOSFORD NSW 2250 AL 07 3008 4118 www.midesignstudio.com.au</p>	<p>ABN: 58 467 424 148 GST: 151104433090 NEW: 0823 03096 VIC: 04 40 43721</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>CHKD</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>25.10.19</td> <td>INITIAL CONCEPT</td> <td>MT</td> <td>MT</td> </tr> <tr> <td>2</td> <td>29.10.19</td> <td>FOR DA APPROVAL</td> <td>MT</td> <td>MT</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	BY	CHKD	1	25.10.19	INITIAL CONCEPT	MT	MT	2	29.10.19	FOR DA APPROVAL	MT	MT	<p>PROJECT PROPOSED OFFICE/LAB/AMENITIES 15 LEITCHS RD BRENDALE</p>	<p>CLIENT Downer EDI Works PTY LTD</p>	<p>TITLE Ground Floor Plan</p>	<p>PHASE DA01</p>	<p>DATE 30.10.19</p>	<p>SCALE 1:150 @ A3</p>	<p>TABLE NO. A-01-01</p>	<p>REV. 2</p>
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<p>for approval</p>										<p>019-113(A)</p>																

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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



1 Roof Plan
Scale: 1 : 150

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REV	DATE	DESCRIPTION	BY	CHK
1	25.10.19	INITIAL CONCEPT	MT	MT
2	29.10.19	FOR DA APPROVAL	MT	MT

PROJECT: PROPOSED OFFICE/LAB/AMENITIES
CLIENT: Downer EDI Works PTY LTD
TITLE: Roof Plan
15 LETCHES RD BRENDALE

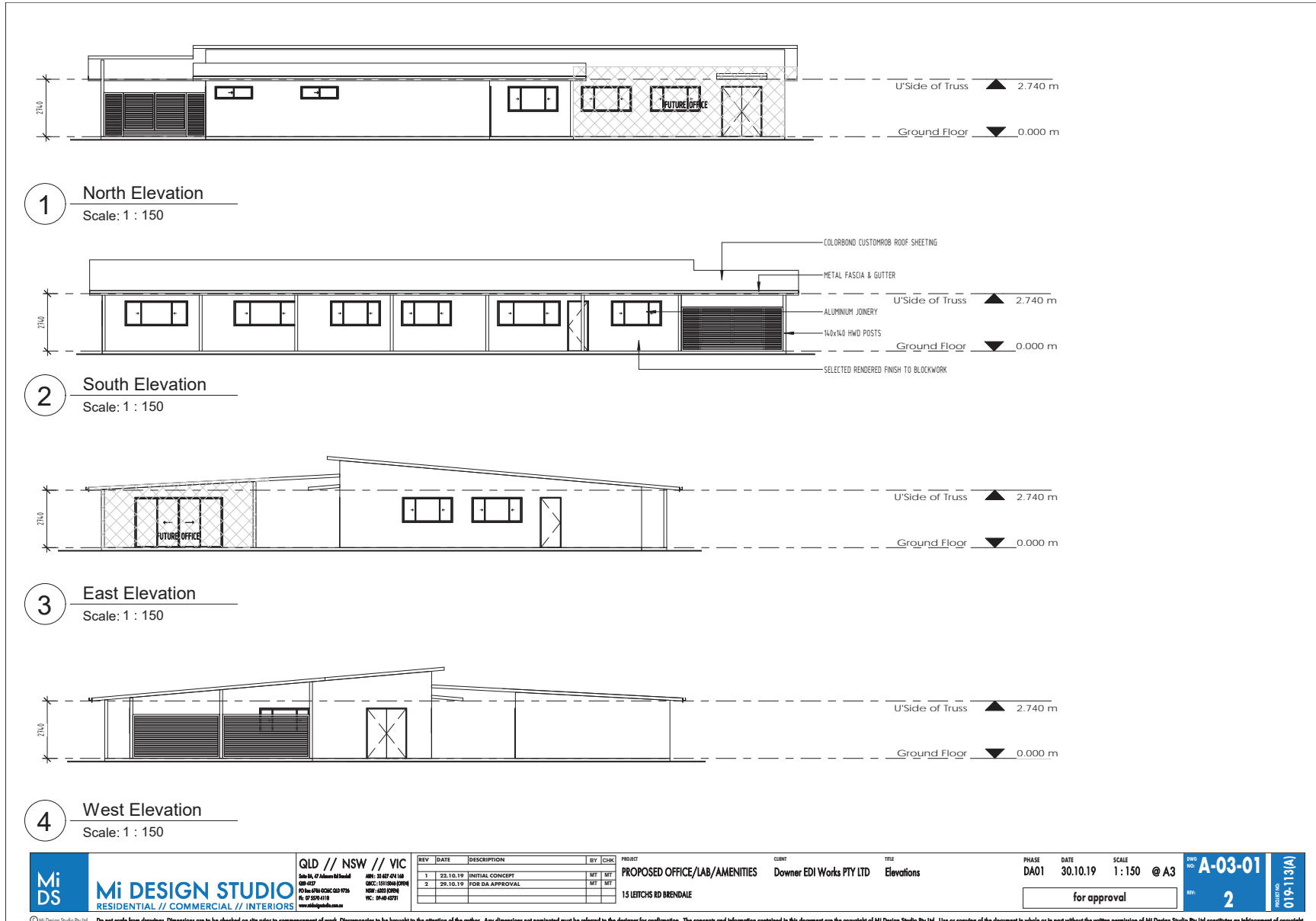
PHASE: DA01
DATE: 30.10.19
SCALE: 1:150 @ A3

DA01
A-02-01
2
019-113(A)

for approval

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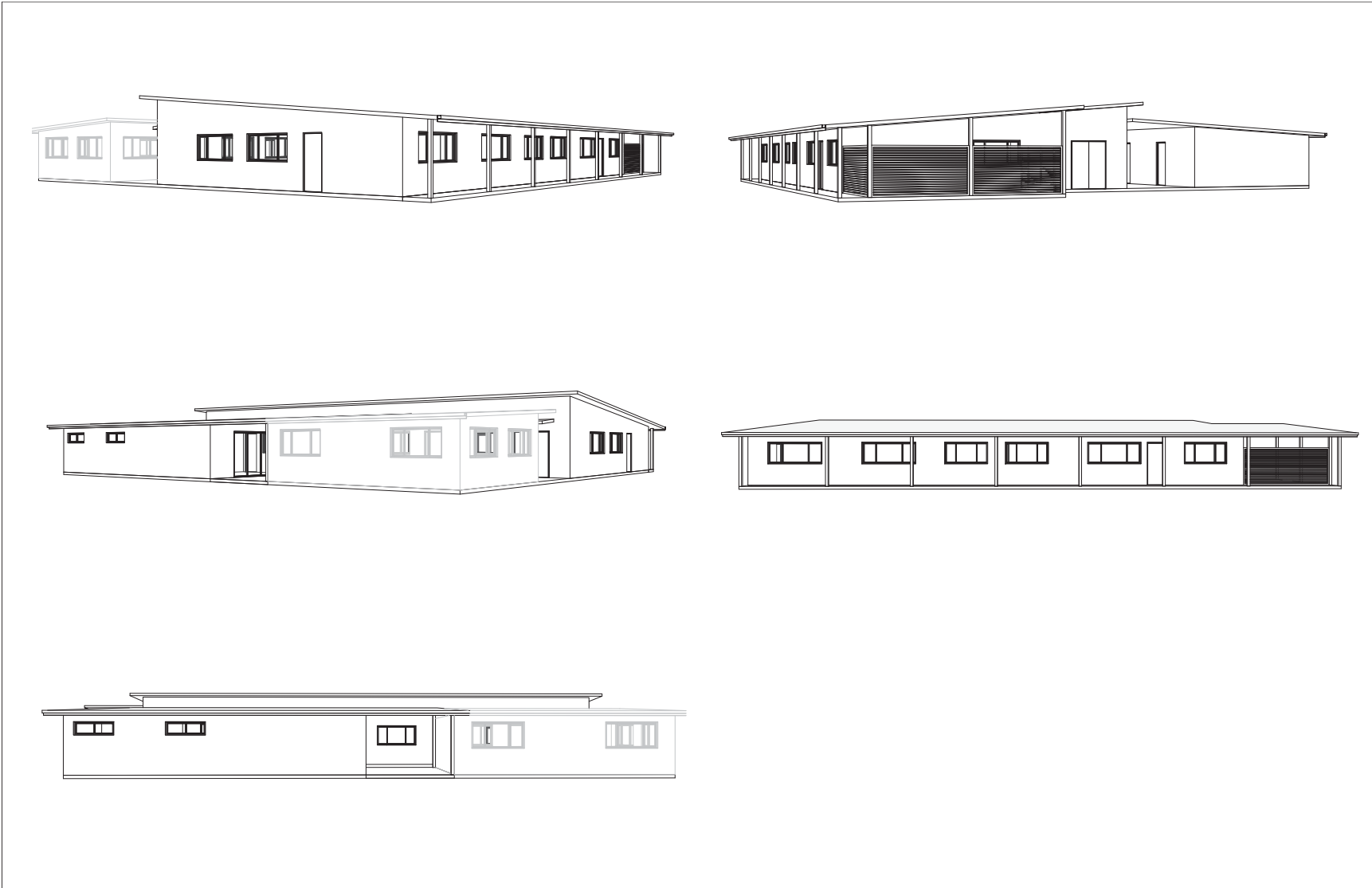
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1	25.10.19	INITIAL CONCEPT	MT	MT
2	29.10.19	FOR DA APPROVAL	MT	MT

PROJ: PROPOSED OFFICE/LAB/AMENITIES
CLNT: Downer EDI Works PTY LTD
TTL: Elevations
PHASE: DA01
DATE: 30.10.19
SCALE: 1:150 @ A3

JOB NO: A-03-01
REV: 2
DATE: 019-113(A)

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INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



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<p>15 LETCHES RD BRENDALE</p>										<p>for approval</p>	<p>019-113(A)</p>															

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INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

15 LEITCHS RD BRENDALE

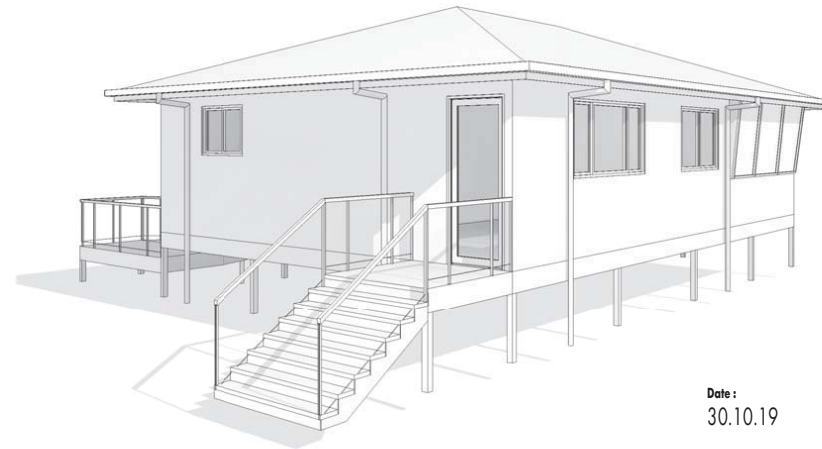
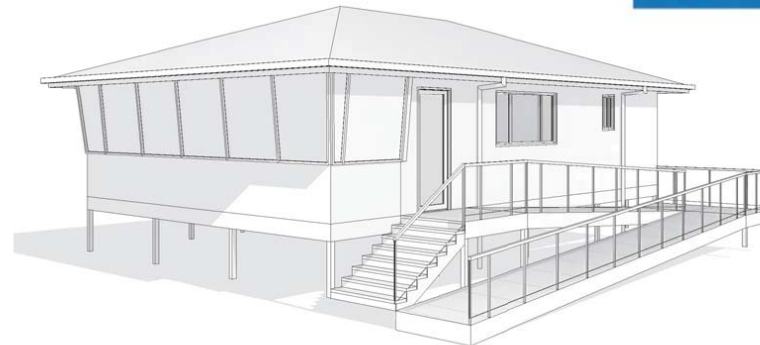


PROPOSED ASPHALT PRODUCTION OFFICE

FOR
Downer EDI Works Pty Ltd

ARCHITECTURAL SCHEDULE

DRAWING NO:	DRAWING SCHEDULE	REVISION
A-00-00	Cover Sheet	2
A-01-01	Ground Floor Plan	2
A-02-01	Roof Plan	2
A-03-01	Elevations	2
A-04-01	Perspectives	2



Date :
30.10.19

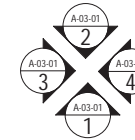
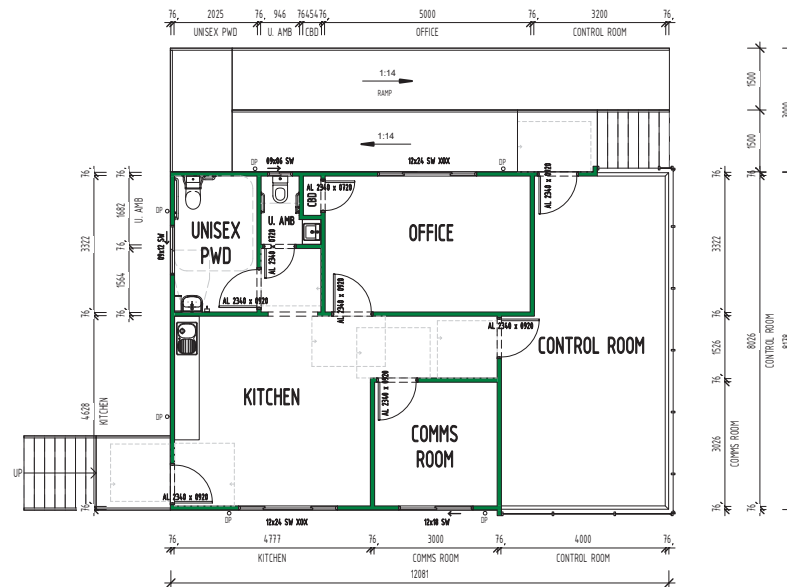
Project No :
019-113 (B)

Sheet No :
A-00-00



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

Floor Areas	
Name	Area
ASPHALT PRODUCTION OFFICE	99.69 m ²
Grand total	99.69 m ²

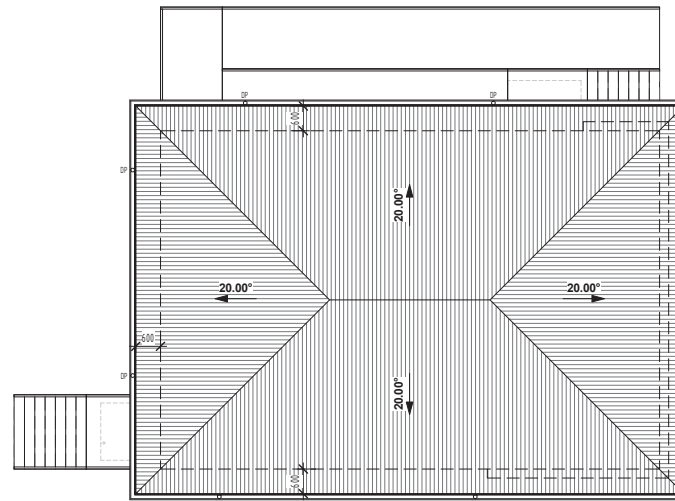


1 Ground Floor
Scale: 1 : 100


	Mi DESIGN STUDIO RESIDENTIAL // COMMERCIAL // INTERIORS	QLD // NSW // VIC	PROJ: PROPOSED ASPHALT PRODUCTION OFFICE 15 LETCHES RD BRENDALE	CLIENT: Downer EDI Works Pty Ltd	TITLE: Ground Floor Plan	PHASE: DA01	DATE: 30.10.19	SCALE: 1:100 @ A3	DRAW NO: A-01-01	REV: 2	DATE: 01/11/19 (B)
		QLD // NSW // VIC Suite 10, 47 Albion St Brisbane QLD 4007 PO Box 4746 St Leonards NSW 1585 AL 07 3008 4118 www.midesignstudio.com.au	AL 31 627 424 148 GPO 1511 NSW 15110444 03094 NSW 0293 00994 VIC 04 40 43721	REV DATE DESCRIPTION BY CHK	1 23.10.19 INITIAL CONCEPT MT MT	2 30.10.19 FOR DA APPROVAL MT MT	for approval				

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INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

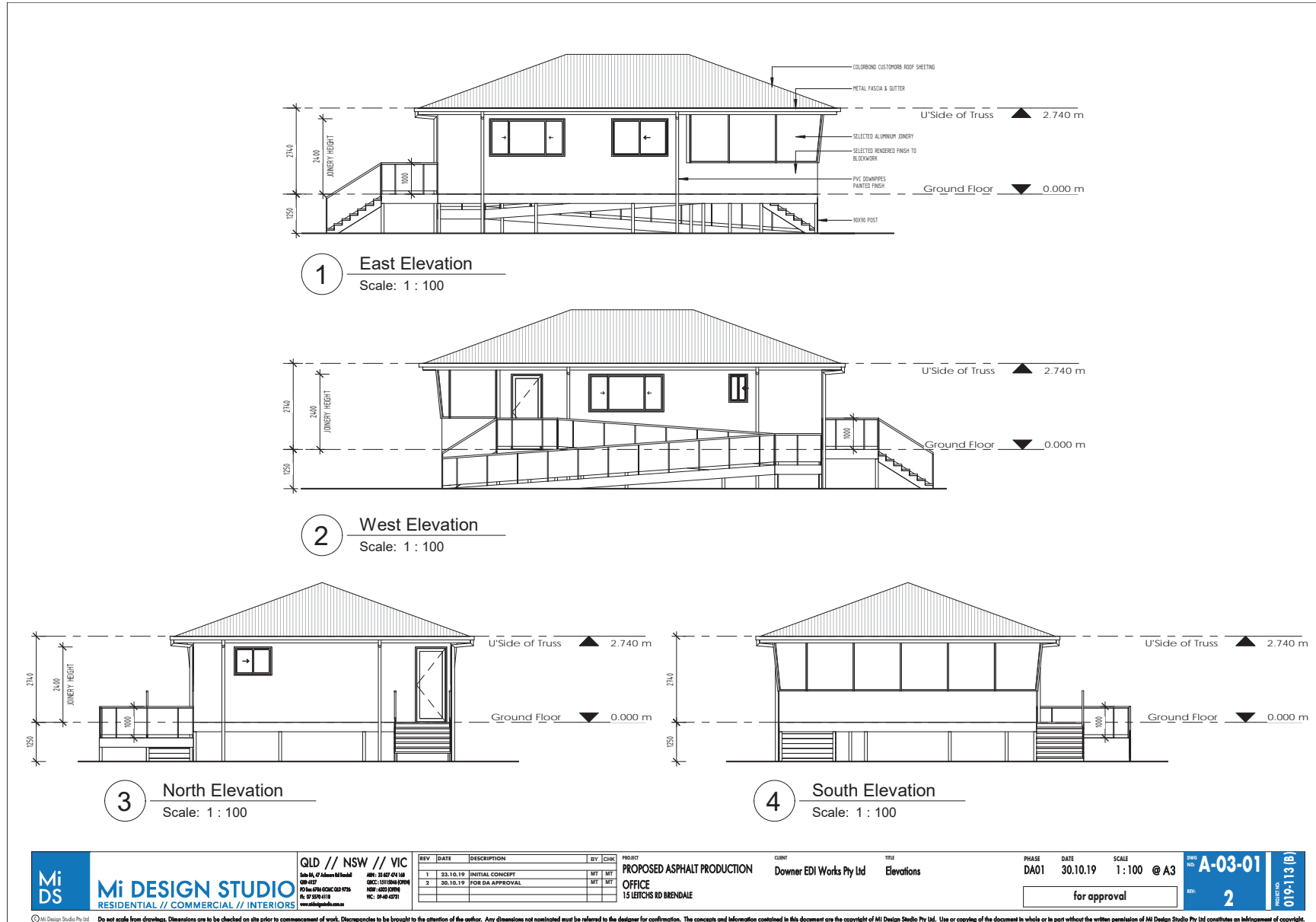


 1 Roof Plan
Scale: 1 : 100

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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



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INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



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2	30.10.19	FOR DA APPROVAL	MT	MT																	
<p>for approval</p>																					

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INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

15 LEITCHS RD BRENDALE

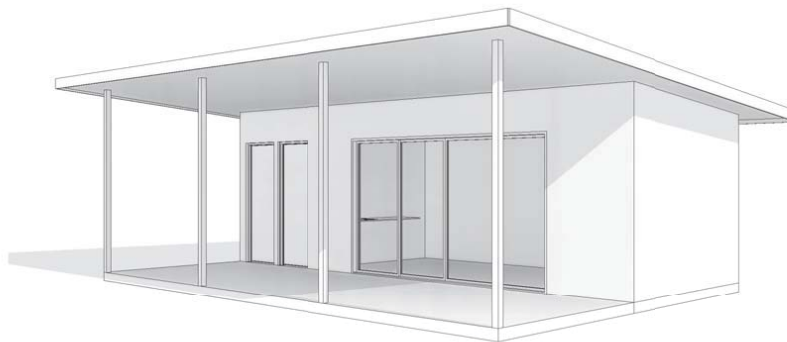


PROPOSED DRIVERS LUNCH ROOM

FOR
Downer EDI Works Pty Ltd

ARCHITECTURAL SCHEDULE

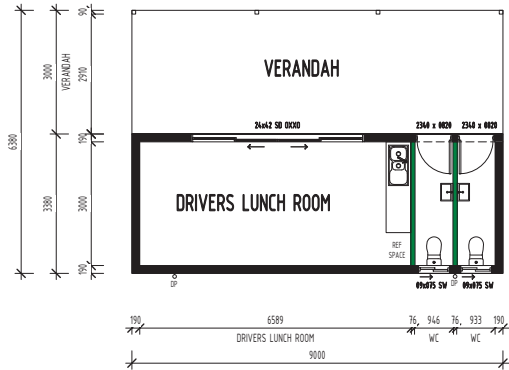
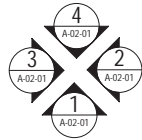
DRAWING NO:	DRAWING SCHEDULE	REVISION
A-00-00	Cover Sheet	2
A-01-01	Ground Floor Plan & Roof Plan	2
A-02-01	Elevations & Perspectives	2



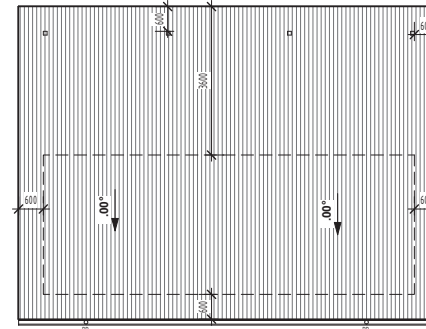
Date :
30.10.19
Project No :
019-113 (C)
Sheet No :
A-00-00

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

Floor Areas	
Name	Area
DRIVERS LUNCH ROOM	30.62 m ²
VERANDAH	27.80 m ²
Grand total	57.42 m ²



1 Ground Floor
Scale: 1 : 100



2 Roof Plan
Scale: 1 : 100

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REV	DATE	DESCRIPTION	BY	CHK
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2	30.10.19	FOR DA APPROVAL	MT	MT

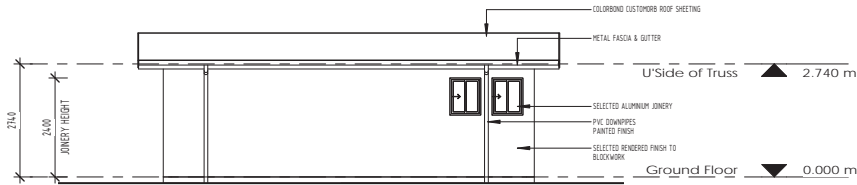
PROJECT: PROPOSED DRIVERS LUNCH ROOM
CLIENT: Downer EDI Works Pty Ltd
TITLE: Ground Floor Plan & Roof Plan
PHASE: DA01
DATE: 30.10.19
SCALE: 1:100 @ A3
15 LETCHES RD BRENDALE

FOR APPROVAL

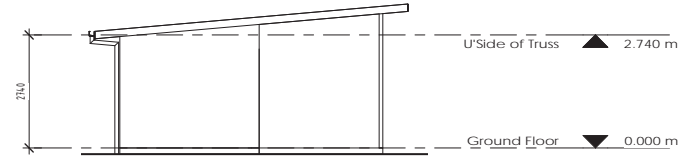
DA01
A-01-01
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019113 (C)

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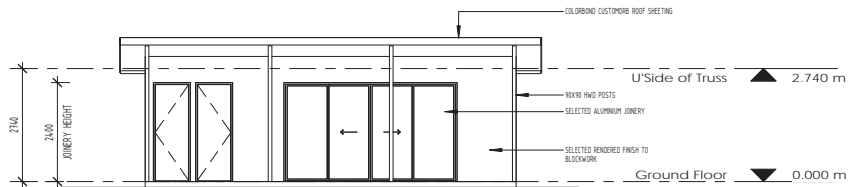
ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



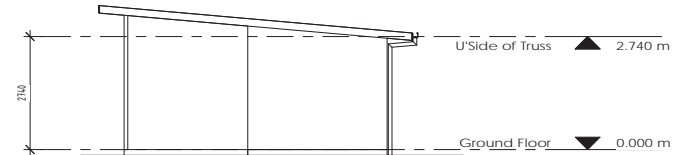
1 East Elevation
Scale: 1 : 100



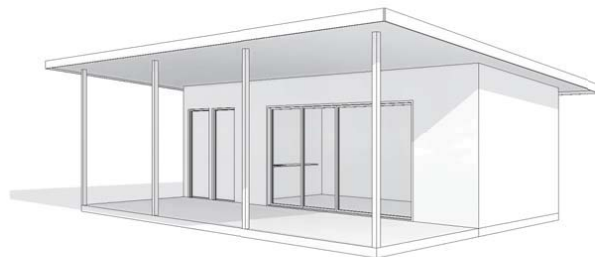
2 North Elevation
Scale: 1 : 100



4 West Elevation
Scale: 1 : 100



3 South Elevation
Scale: 1 : 100



Mi DS
Mi DESIGN STUDIO
RESIDENTIAL // COMMERCIAL // INTERIORS

QLD // NSW // VIC
Suite 10, 47 Albany Rd Bundoora
VIC 3083
PO Box 4746 G'dong VIC 3174
AU 03 9308 4118
www.midesignstudio.com.au

REV	DATE	DESCRIPTION	BY	CHKD
1	22.10.19	INITIAL CONCEPT	MT	MT
2	30.10.19	FOR DA APPROVAL	MT	MT

PROJECT
PROPOSED DRIVERS LUNCH ROOM
15 LETCHES RD BRENDALE

CLIENT
Downer EDI Works Pty Ltd

TITLE
Elevations & Perspectives

PHASE
DA01

DATE
30.10.19

SCALE
1:100 @ A3

TABLE NO. **A-02-01**
REV. **2**
DATE: 01/13/20

FOR APPROVAL

Mi Design Studio Pty Ltd. Do not scale from drawings. Dimensions are to be checked on site prior to commencement of work. Discrepancies to be brought to the attention of the author. Any dimensions not nominated must be referred to the designer for confirmation. The concepts and information contained in this document are the copyright of Mi Design Studio Pty Ltd. Use or copying of the document in whole or in part without the written permission of Mi Design Studio Pty Ltd constitutes an infringement of copyright.

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

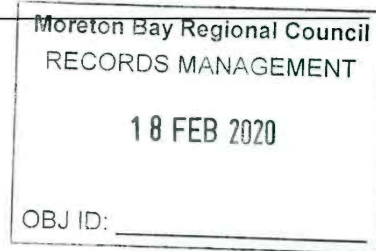
Scanned By:TYRRELL@MBRCDOM On: 19/02/2020 AM Moreton Bay Regional Council

#4 Properly Made Submissions

Moreton Bay Regional Council
Downer EDI development application – Leitch’s Road Brendale
Reference: 2019 / 39821 / V2L - MCU Other

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture, QLD, 4510

Via email: mbrc@moretonbay.qld.gov.au



The applicant is proposing to invest in world leading technology to provide a much needed uplift to industrial recycling within our region.

The new plant will divert numerous waste products away from landfill, to be re-purposed as construction materials.

The plant will ensure the ongoing availability of high quality asphalt and other construction materials to support our growing region.

These materials need to be sourced locally to ensure construction remain affordable. If our construction material sources are located far away from projects, the haulage costs dramatically increase the cost of supply.

Downer has successfully operated from Kremzow Road for many years and this plant will upgrade and modernise the technology, allowing this plant to close.

With the intended closure of Downer’s Kremzow Road plant, this proposal will secure local jobs that families rely on.

The project is proposed on land that is zoned industrial which is appropriate for this use.

Please register this submission as support for Downer’s development application.

Name:	ALL HOSE & VALVES
Address:	217 LEITCHS RD
Signature:	<i>[Handwritten Signature]</i>
Date:	17-FEB-2020

Moreton Bay Regional Council

GENERAL MEETING - 507
13 May 2020

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Supporting Information

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

Scanned By:TYRRELL@MBRCDOM On: 19/02/2020 AM Moreton Bay Regional Council

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Downer EDI development application – Leitch’s Road Brendale
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The project is proposed on land that is zoned industrial which is appropriate for this use.

Please register this submission as support for Downer’s development application.

Name:	Ron Atkinson	
Address:	Unit 4/348 South Pine Rd	
Signature:		
Date:	13.2.20	

Moreton Bay Regional Council

GENERAL MEETING - 507
13 May 2020

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Supporting Information

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

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Moreton Bay Regional Council
Downer EDI development application – Leitch’s Road Brendale
Reference: 2019 / 39821 / V2L - MCU Other

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Please register this submission as support for Downer’s development application.

Name:	DAVE FARRELLY	BITS & STEEL
Address:	14 PINACLE ST	BRENDALE
Signature:		
Date:	17/2/2020	

Moreton Bay Regional Council

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13 May 2020

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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

From: [Marco Alberti](#)
To: [Will Miller](#)
Subject: Fwd: Submission - 2019/39821/V2L - Heavy Industry Application Near Sports Field
Date: Tuesday, 18 February 2020 3:08:42 PM
Attachments: [Asphalt Plant BrendaleB.pdf](#)
[ATT00001.htm](#)
[Scan0051.pdf](#)
[ATT00002.htm](#)

Sent from my iPhone

Begin forwarded message:

From: Mike Charlton <Mike.Charlton@moretonbay.qld.gov.au>
Date: 18 February 2020 at 2:48:19 pm AEST
To: MBRC Incoming Mail <MBRCmail@moretonbay.qld.gov.au>
Cc: Marco Alberti <Marco.Alberti@moretonbay.qld.gov.au>, Strategic Planning Mailbox <PED@moretonbay.qld.gov.au>
Subject: Submission - 2019/39821/V2L - Heavy Industry Application Near Sports Field

Please find attached submission in relation to 2019/39821/V2L.

Steve Casey phoned Cr Charlton's office and asked for the submission to be directed to the correct department.

Kind regards,

Kylie Timms
PA to Mike Charlton, Deputy Mayor | Councillor for Division 9
Moreton Bay Regional Council
3480 6869

Division 9 represents the communities of Albany Creek, Brendale, Eatons Hill, Strathpine (west), Warner (south) and parts of Cashmere.

From: The Caseys <sandkcasey@bigpond.com>
Sent: Tuesday, 18 February 2020 8:43 AM
To: Mike Charlton <Mike.Charlton@moretonbay.qld.gov.au>
Cc: activities@spsa.com.au; 'Barry McDougall' <mrbaz.7@hotmail.com>; Eddie Mills <eddie@centb.com.au>; Francois Basson <thebassontribe@bigpond.com>; Leon Marais <leonmaraisdp@gmail.com>; Michael Corrie <mcorrie@y7mail.com>; Peter McFarlane <petermc@andersenit.com.au>; Warren Stevens <Wjkj4500@hotmail.com>; Adam Brind <adam_brind@yahoo.com.au>; Col Wade <cokaayju@optusnet.com.au>; Corie Morrad <corie@acorshe.com.au>; Craig Grecian <craig.grecian@metso.com>; Darren Potts <darrentina01@dodo.com.au>; Frank Hogan <cho81733@bigpond.net.au>; Frank Hogan <andrewsmowingfrank@gmail.com>; James Caddy <j.caddy@genesis.qld.edu.au>; Jeff McKeon <jmckeon@powerup.com.au>; John Argus

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13 May 2020

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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

<argusjohn@bigpond.com>; Jose Pais <jose.pais@gmail.com>; Matt Gould <matt@teehouse.net.au>; 'Matt Langley' <vulturest@live.com.au>; Michael Baker <Michael.Baker@optus.com.au>; Neil Holmes <neilgholmes@gmail.com>; Paul Gillett <leap00@gmail.com>; Rod Lennon <rod@brisfire.com.au>; Rod Shaw <housetmc@tpg.com.au>; Ross Duncan <theduncs@live.com.au>; Angus Flett <angusflett@gmail.com>; Brent Crooks <bcrooks@pgamember.org.au>; Brett Hunter <bhunt100@eq.edu.au>; Cameron Rigby <cameronrigby2903@hotmail.com>; Carl Holder <carl.holder@gmail.com>; Chris McGill <mcgillagorilla@bigpond.com>; E J Olsen <ej.olsen@goingup.com.au>; gavin.hulcombe@htw.com.au; John Ring <john.ring@zeiss.com>; Jonathan Thomson <sonofthom@gmail.com>; Josh Cooper <jcooper.84@bigpond.com>; Martin Raadschelders <mraadschelders@padua.qld.edu.au>; Martin Willemse <bromart@gmail.com>; Matt Hanlon <matt_hanlon@hotmail.com>; Paul Cloherty <paul.cloherty@iinet.com.au>; Paul Deem <paulandjillian@optusnet.com.au>; Peter Ingram <margnip79@yahoo.com.au>; Richard James <siobhan.james@unisport.com.au>; Ross Hosking <hosko_005@yahoo.com>; Steve Herd <spherd12@gmail.com>; Thomas Randall <te_randall@internode.on.net>; Tim Newsome <timn4054@gmail.com>; Vance Pyne <pynev@cba.com.au>; Darren Wiltshire <darren.wiltshire@stanwell.com>; Dean Wiseman <dean@focussedlm.com.au>; Luke Cruwys <luke.cruwys@mail.com>; Mani Raman <vinman5@bigpond.com>; Marcus Bigault <mmt19@hotmail.com>; Mark Durkin <mark@asapskinproducts.com>; Nathan Finn <nathan@finn.net.au>; Neerja Merchant <neerjasj@gmail.com>; Sarah Bright <Sarahjanebright@hotmail.com>; Scott Smith <smuff_aus@yahoo.com>; Tracey Pearson <dan.pearson@ct4.com>; Wayne Sentance <wsentance@hotmail.com>; 'Adam Stokes' <stokesy1974@hotmail.com>; Brett Morrison <brettdmorrison@yahoo.com.au>; Brook Rigby <brookie_85@hotmail.com>; 'Craig McPherson' <craig_mcp@yahoo.com.au>; Darren Coleman <dcoleman@powerlink.com.au>; James Barden <jgbarden70@hotmail.com>; Jason Manttan <jasman_05@hotmail.com>; Jenny Hanlon <jennyhanlon79@hotmail.com>; Kate Crooks <Kathryn_crooks@flightcentre.com>; Kylie Watson <lk.watson@bigpond.com>; Malcolm Kerr <kerr.malcolm@gmail.com>; Ryan Webb <rhinowebki@hotmail.com>; Sandeep Dhaliwal <dhaliwal.sandeep1986@gmail.com>; 'Simon Wedgwood' <spwedgwood@gmail.com>

Subject: FW: Heavy Industry Application Near Sports Field

Good morning Mr Charlton

Yesterday I received this letter below from Dr Jennifer Fisher advising the Albany Creek Cricket Club that their company has lodged an application to install an Asphalt/Bitumen Operating Plant at Brendale.

As you are well aware this proposed plant is only 900 metres from the South Pine Sports Complex and with the prevailing breezes coming predominantly from the North-East, our complex is right in the pathway of any of the pollutants.

There are thousands of young children who regularly train and have fixture matches at this complex seven days a week. During the winter months, in particular, children and parents from AFL, Rugby League, Rugby Union, Soccer,

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

Netball, Gymnastics, Basketball and Cricket train and play at this Complex.

As sporting clubs, we are all extremely proud of the facilities provided here by the Moreton Bay Regional Council. As a long term councillor representing the constituents of the Albany Creek, Brendale and the Eatons Hill area, I know that you are one of the original councillors who heavily pushed for this Complex. I can see parents in the future withdrawing their children from sporting clubs that participate in activities at this complex rather than subject them to pollutants emitted from such a plant.

Upon receipt of this email yesterday, I forwarded it on to our coaches and asked that they pass it on to their families. We have over 400 families at this club. Within an hour I received many messages of condemnation for this proposal. We have used our Facebook page to notify parents as well.

A number of our parents are engineers and they voiced their objection from a scientific background, of the long term health risks that we would be subjecting our children to.

I have copied the South Pine Sports Association into this objection as well so that they may alert other participating clubs. Many of our children play sports all year round at this complex in the various codes offered.

As a result, the Albany Creek Cricket Club have lodged an official objection to this proposal (See attached) which I would like you to forward on to the Chief Executive Officer and other councillors of the MBRC.

Please note that this objection has to be in by 12.00 midnight this evening. We were only given 36 hours notice.

Kind regards
Steve Casey (President – ACCC)

From: Robyn [<mailto:reception@wattlerun.com.au>]
Sent: Monday, 17 February 2020 11:09 AM
To: Robyn
Subject: Heavy Industry Application Near Sports Field

To whom it may concern,

We are writing to inform you about a development application at Lot 15 Leitchs Rd, Brendale. This application is for a heavy industrial plant. It may have an impact on the enjoyment of the sportsmen and women using the South Pine Sports Club playing fields. The plant will be at the Cribb Rd end of Leitchs Rd.

The application is for a Material Change of Use for a High Impact Industry, Utility Installation and Environmentally Relevant Activity.

- The applicant is looking to install an **Asphalt/Bitumen Operating Plant** which will operate **24 hours a day, 7 days a week**.
- This heavy industry plant will bring with it **noise, smell, lights and increased truck traffic** to South Pine Rd and Leitchs Rd local area.

The period for objections closes at **midnight tomorrow, Tuesday 18 February**. We have attached a small file detailing the development, complete with a copy of the

*ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)*

on-site notification.

Regards,

Dr Jennifer Fisher

230 South Pine Road, Enoggera Q 4051
P.O. Box 828, Aspley Q 4034

07 3355 5777 | 0411 882 228

www.wattlerun.com.au | www.theshedsatbrendale.com.au
jfisher@wattlerun.com.au

cid:image004.png@01D4C535.EF672580



ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



Albany Creek Cricket Club Inc.

PO Box 82 Albany Creek Q 4035
ABN 20 032 470 525

Website: www.albanycreekcricketclub.com
Email: acc@albanycreekcricketclub.com

President:
Steve Casey
0418878212

Vice President:
Peter McFarlane
0412231317

Secretary:
Francois Basson
0428785306

Treasurer:
Leon Marais
0426687223

To:
The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture, QLD, 4510

Reference: 2019/39821/V2L - MCU Other

Downer EDI Works PTY LTD development application - Brendale

The Albany Creek Cricket Club is located at the South Pine Sports Association (SPSA) sporting complex and is 900m down wind of the proposed Asphalt Plant.

The Albany Cricket Club committee do not support the Downer's application, as asphalt plants are known to produce toxic air pollutants, including arsenic, benzene, formaldehyde, and cadmium, that may cause cancer, central nervous system problems, liver damage, respiratory problems and skin irritation. The club's facilities are used by aspiring cricketers from as young as the age of 6 with the Friday night junior cricket attracting four hundred family members including grandparents and baby siblings who are now going to be subjected to this new pollution. We have players and parents attending training sessions each day of the week as well as both players and their families attending game days on Saturdays.

We find it deplorable that the club has only been given 36 hours to respond to this application, as laid out in the attached email. This seems highly irregular and we will be seeking further advice.

Yours in sport.

Steve Casey

Moreton Bay Regional Council

GENERAL MEETING - 507
13 May 2020

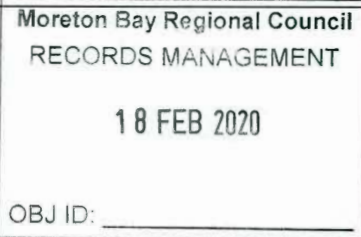
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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

Scanned By: TYRRELL@MBCRCDOM On: 19/02/2020 AM Moreton Bay Regional Council

Moreton Bay Regional Council
Downer EDI development application – Leitch's Road Brendale
Reference: 2019 / 39821 / V2L - MCU Other

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture, QLD, 4510



Via email: mbrc@moretonbay.qld.gov.au

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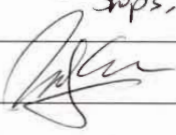
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With the intended closure of Downer's Kremzow Road plant, this proposal will secure local jobs that families rely on.

The project is proposed on land that is zoned industrial which is appropriate for this use.

Please register this submission as support for Downer's development application.

Name:	Ming-Tang Au
Address:	Stops 18-22 Kremzow Rd Brendale
Signature:	
Date:	17.2.2020

Moreton Bay Regional Council

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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

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Via email: mbrc@moretonbay.qld.gov.au



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Please register this submission as support for Downer’s development application.

Name:	Robert BRUCE	CROSS CRANES PTY LTD
Address:	16 Pinnacle st	BRENDALE
Signature:		
Date:	17/2/2020	

Moreton Bay Regional Council

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13 May 2020

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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

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Moreton Bay Regional Council
Downer EDI development application – Leitch’s Road Brendale
Reference: 2019 / 39821 / V2L - MCU Other

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture, QLD, 4510

Moreton Bay Regional Council RECORDS MANAGEMENT 18 FEB 2020 OBJ ID: _____
--

Via email: mbrc@moretonbay.qld.gov.au

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Please register this submission as support for Downer’s development application.

Name:	Rob Leek - ENZED.
Address:	2/132 South Pine Rd
Signature:	
Date:	17/02/2020.

Moreton Bay Regional Council

GENERAL MEETING - 507
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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

Scanned By:TYRRELL@MBCRCOM On: 19/02/2020 AM Moreton Bay Regional Council

Moreton Bay Regional Council
Downer EDI development application – Leitch’s Road Brendale
Reference: 2019 / 39821 / V2L - MCU Other

Moreton Bay Regional Council RECORDS MANAGEMENT 18 FEB 2020 OBJ ID: _____

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture, QLD, 4510

**MORETON BAY
REGIONAL COUNCIL**

17 FEB 2020



**STRATHPINE CUSTOMER
SERVICE CENTRE**

Via email: mbrc@moretonbay.qld.gov.au

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Please register this submission as support for Downer’s development application.

Name: DAVE GREGSON	
Address: 78/109 LEITCH RD.	
Signature: 	
Date: 17.2.20	

Moreton Bay Regional Council

GENERAL MEETING - 507
13 May 2020

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Supporting Information

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

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Moreton Bay Regional Council
Downer EDI development application – Leitch's Road Brendale
Reference: 2019 / 39821 / V2L - MCU Other

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture, QLD, 4510

Via email: mbrc@moretonbay.qld.gov.au

Moreton Bay Regional Council
RECORDS MANAGEMENT

18 FEB 2020

OBJ ID: _____

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Please register this submission as support for Downer's development application.

Name:	PETER COLSON	KENNARDS HIRE
Address:	133 SOUTH PINE RD	BRENDALE
Signature:		MANAGER
Date:	17/2/20	

Moreton Bay Regional Council

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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

From: Admin - Moreton Bay United FC
To: [MBRC Incoming Mail](#)
Subject: 2019 / 39821 / V2L - MCU Other
Date: Monday, 17 February 2020 4:51:30 PM
Attachments: [image003.png](#)

Hello

On Behalf of Moreton Bay United Football Club – we would like to object to the DA of Lot 15 Leitchs Road Brendale

This will affect the enjoyment of sport at our fields as it will bring it noise, smell, lights and increased truck traffic.

Greg Bradley – Chairman – 19 Ferguson Street Albany Creek 4035 – 0434 372 740

Rochelle Lynch – Secretary – 5 Glenlyon Court Albany Creek 4035 – 0414 284 202

Tony Dooley – Treasurer – 5 Glenlyon Court Albany Creek 4035 0416 321 017

Kirsty Royley – Administration – 5 Tawny Court Bray Park 4500 – 0413 518 772

Moreton Bay United

P O Box 363

Albany Creek 4035

0452 429 223

Kind Regards

Kirsty

Administration Coordinator

Moreton Bay United Football Club

Website: www.moretonbayunited.com



Moreton Bay Regional Council

GENERAL MEETING - 507
13 May 2020

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Supporting Information

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

Scanned By: TYRRELL@MBRCDOM On: 19/02/2020 AM Moreton Bay Regional Council

Moreton Bay Regional Council
Downer EDI development application – Leitch's Road Brendale
Reference: 2019 / 39821 / V2L - MCU Other

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture, QLD, 4510

Via email: mbrc@moretonbay.qld.gov.au

Moreton Bay Regional Council
RECORDS MANAGEMENT

18 FEB 2020

OBJ ID: _____

The applicant is proposing to invest in world leading technology to provide a much needed uplift to industrial recycling within our region.

The new plant will divert numerous waste products away from landfill, to be re-purposed as construction materials.

The plant will ensure the ongoing availability of high quality asphalt and other construction materials to support our growing region.


These materials need to be sourced locally to ensure construction remain affordable. If our construction material sources are located far away from projects, the haulage costs dramatically increase the cost of supply.

Downer has successfully operated from Kremzow Road for many years and this plant will upgrade and modernise the technology, allowing this plant to close.

With the intended closure of Downer's Kremzow Road plant, this proposal will secure local jobs that families rely on.

The project is proposed on land that is zoned industrial which is appropriate for this use.

Please register this submission as support for Downer's development application.

Name:	NORTHSIDE TRADE	GLENN VICKHART
Address:	69 SOUTH PINE RD	
Signature:		
Date:	17-02-2020	

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

From: Drew Westbrook
To: [MBRC Incoming Mail](#)
Subject: Submission opposing proposed asphalt plant - Lot 15 Leitchs Road, Brendale - MBRC DA ref 2019 / 39821 / V2L
Date: Tuesday, 18 February 2020 12:20:37 PM
Attachments: [image714294.png](#)
[image314616.png](#)
[image455669.png](#)
[image968854.png](#)
[200218 Submission letter to MBRC including plan.pdf](#)

Attention: Development Assessment

On behalf of Novena Leasing, please see attached submission outlining our concerns regarding the proposed asphalt plant at Leitchs Road, Brendale.
Cheers

Drew Westbrook

Senior Town Planner

d.westbrook@veris.com.au

07 3666 4700
PO Box 1038
46 Berwick Street
Fortitude Valley QLD4006

[veris.com.au](#)



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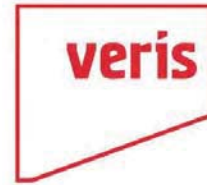
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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

18 February 2020

Our Ref: 431780

Council Ref. DA/39821/2019



Moreton Bay Regional Council
PO Box 159
Caboolture QLD 4510

Attention: Development Assessment (mbrcc@moretonbay.qld.gov.au)

Dear Sir/Madam,

RE: Opposition to a proposed High Impact Industry (asphalt plant) at Lot 15 Leitchs Road, Brendale 4500

On behalf of Novena Leasing we provide the following information to Council in opposition to the proposed asphalt plant at Lot 15 Leitchs Road, Brendale.

Grounds for Submission

In summary, we expect the proposed high impact industry development will have negative impacts on the following:

- Local amenity (general disturbance in the immediate area such as increased heavy traffic movements, visual, noise and air emissions)
- Noise, particulate and odour emissions (lower air quality in the surrounding area)
- Adjoining and nearby residential (impacts on existing residences in the immediate area)
- Incompatibility with nearby industrial / warehouse / storage uses (e.g. outdoor car storage) due to particulate emissions and associated impacts
- Incompatibility with nearby commercial and medical-oriented uses
- Safety (hazardous chemicals and air emission particulates)
- Social and environmental impacts (particularly aesthetics) on the proposed expanded sports complex

Supporting Facts or Circumstances

The site of the proposed asphalt plant is within the General Industry Precinct which is for a range of industrial uses and supporting activities where the possibility of adverse impacts on sensitive receptors requires a location sufficiently buffered from incompatible activities, specifically a minimum separation distance of 500m from an existing or approved sensitive land use or sensitive zone (refer to list of industry zone precincts over page and attached maps showing education, health care, residential and other sensitive land uses in close proximity). Leitchs Road is not designed for or designated as a heavy vehicle route to access the site. Building height (stacks) exceeds the limit of 15m as identified on the relevant overlay map and will negatively impact on the visual amenity of the nearby sports complex, commercial uses and residences.

Brisbane
46 Berwick Street
PO Box 1038
Fortitude Valley
QLD 4006
Australia

T 07 3666 4700
brisbane@veris.com.au
veris.com.au

Office Locations
Over 20 offices
across Australia
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Veris Australia Pty Ltd
ABN 53 615 735 727

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Version: VRS-TMP-105_9

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



Industry zone precincts

All land in the Industry zone is included in one of five precincts. Zone precincts provide greater clarity about the types of development intended in a particular location. These precincts are:

1. **Mixed industry and business precinct** - a mix of low impact industry and associated commercial uses including low impact industry, limited medium impact industry, office, hardware and trade supplies, research and technology industry, warehouse, service industry, limited outdoor sales and small food and drink outlets.
2. **Light industry precinct** - a range of low impact and low intensity industrial and business uses including low impact industry, research and technology industry, warehouse, small food and drink outlets, bulk landscape and agricultural supplies stores, service station and outdoor sales.
3. **General industry precinct** - a range of industrial uses requiring locations that are sufficiently separated from more sensitive areas. This includes medium impact industry, research and technology industry, warehouse, small food and drink outlets, bulk landscape and agricultural supplies stores.
4. **Restricted industry precinct** - a range of high impact and hard to locate industrial uses requiring locations that are separated from more sensitive areas. This includes high impact industry and medium impact industry.
5. **Marine industry precinct** - waterfront-based industry and associated commercial activities that require direct access to a waterway and Moreton Bay. This includes marine industry, landing, port services, aquaculture, and small food and drink outlets.

Local Impacts

Noise, odour and other air emissions

The total development is forecast to operate 24 hours a day, 7 days a week and attract over 39,000 annual truck movements by 2031. The inevitable release of contaminants into the air within close proximity of residential, sports and health care uses is surely of conflict for the health and well-being of people, particularly outdoors such as at the sports complex which is to be significantly expanded and to be used by multiple recreational participants and groups. The submitted report also fails to consider the impact of odour and air contaminant emissions on nearby sensitive land uses such as residences, health care premises and lower scale industrial uses.

Health and Safety

The proposed use will result in air/plume impacts on nearby uses such as residential dwelling houses, outdoor car storage yards, health care services and sports complex. Storage of hazardous chemicals on the site associated with the plant is also of concern being near the multiple sensitive land uses.

Visual

The height of the exhaust stacks (30m and 41m in height) will be highly visible from the nearby South Pine Sports Complex and in stark contrast to the desired health and fitness lifestyle environment. Industrial stacks as a backdrop to a significant number of outdoor sporting fields would appear to embarrassingly undermine what should be a major attractor and jewel in the crown of the future of the Moreton Bay residential community.

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



Summary of Submission

In summary, the proposed high impact industrial (asphalt plant) use will have negative impacts on nearby sensitive land uses (residential, health care, sports and education) as well as low impact industrial uses such as outdoor car storage yards where contaminants are likely to routinely fall on those vehicles. We strongly believe that the proposed development should be in the restricted industry precinct of the industry zone (as is another existing asphalt plant in Nickel Street, Narangba) and not on the proposed general industry precinct site on Leitchs Road, Brendale.

We await Council's further review of the application documents and our submission. Should you require any additional information or have any queries please do not hesitate to contact the writer on (07) 3666 4700.

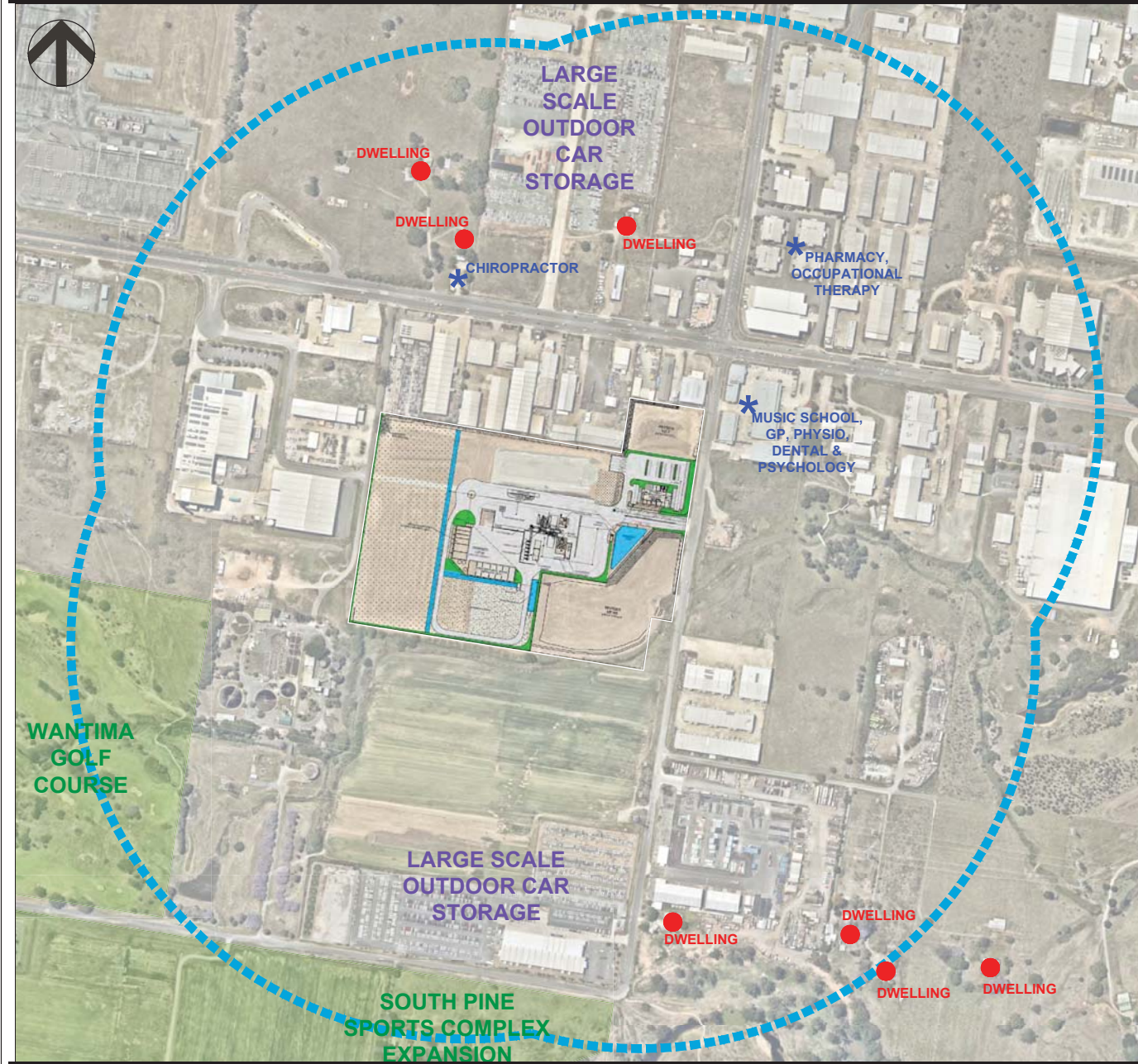
Yours faithfully

A handwritten signature in black ink, appearing to read "Drew Westbrook".

Drew Westbrook
Senior Town Planner

Encl. Veris plan 31780-GP02-A Sensitive Land Uses

GENERAL MEETING - 507
ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY
INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)
13 May 2020



Lot 15 Leitchs Road,
Brendale

IMPORTANT NOTES:
(These notes are an integral part of this plan)
This plan has been prepared for the discussion purposes. It is not to be used for any other purposes.
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Data Sources
Aerial Images Nearmap

A	Original	14/02/2020	SI
Issue	Revisions	Date	Drawn

Locality: Brendale
Local Authority: MBRC
Scale: 1:5,000@A3
Drawn: SI
Checked: DW
Plot Date: 14 Feb, 2020
Computer File Ref: 31780-GP02-A.dwg

Sensitive and other relevant land uses near proposed asphalt plant

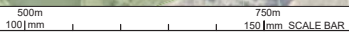
LEGEND

500m from proposal

BRISBANE (07) 3066 4700 WHITSUNDAYS (07) 4945 1722
MACKAY (07) 4951 2911 CAIRNS (07) 4051 6722

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ACN 615 735 727
Veris Australia Pty Ltd

Drawing No. Issue



Moreton Bay Regional Council

GENERAL MEETING - 507
13 May 2020

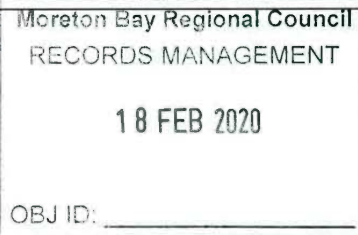
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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

Scanned By: TYRRELL@MBRCDOM On: 19/02/2020 AM Moreton Bay Regional Council

Moreton Bay Regional Council
Downer EDI development application – Leitch’s Road Brendale
Reference: 2019 / 39821 / V2L - MCU Other

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture, QLD, 4510



Via email: mbrc@moretonbay.qld.gov.au

The applicant is proposing to invest in world leading technology to provide a much needed uplift to industrial recycling within our region.

The new plant will divert numerous waste products away from landfill, to be re-purposed as construction materials.

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These materials need to be sourced locally to ensure construction remain affordable. If our construction material sources are located far away from projects, the haulage costs dramatically increase the cost of supply.

Downer has successfully operated from Kremzow Road for many years and this plant will upgrade and modernise the technology, allowing this plant to close.

With the intended closure of Downer’s Kremzow Road plant, this proposal will secure local jobs that families rely on.

The project is proposed on land that is zoned industrial which is appropriate for this use.

Please register this submission as support for Downer’s development application.

Name:	JOHN BARKER
Address:	PINE RIVERS BEARINGS 02/348 SOGAT RIVER RD BRENDALE
Signature:	
Date:	17/02/20

Moreton Bay Regional Council

GENERAL MEETING - 507
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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

From: Penny Beer
To: [MBRC Incoming Mail](#)
Cc: [Bill Simmons](#)
Subject: REF: 2019 / 39821/ / V2L - MCU Other
Date: Thursday, 6 February 2020 12:22:33 PM
Attachments: [MORETON BAY COUNCIL-06022020121922-0001.pdf](#)
Importance: High

Please find attached letter sent to you on behalf of Bill Simmons of 80 Leitchs Road, Brendale

Kind regards,

Penny Beer
Administration
Email: penny.beer@simmonslogistics.com.au

-----Original Message-----

From: DocuCentre-VII C3373 [<mailto:SCANNER@simmonslogistics.com.au>]
Sent: Thursday, 6 February 2020 12:19 PM
To: Penny Beer <penny.beer@simmonslogistics.com.au>
Subject: Scan Data from FX-1C7D2231B9F6

Number of Images: 1
Attachment File Type: PDF

Device Name: DocuCentre-VII C3373
Device Location:

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

To:

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture, QLD, 4510

Via email: mbrc@moretonbay.qld.gov.au

Reference: 2019 / 39821 / V2L - MCU Other

Downer EDI Works Pty Ltd development application – Brendale

I support Downer's application to establish a new Asphalt production facility at Brendale.

The new generation plant will apply the latest technology and reduce waste which burdens our landfill.

The production processes make good use of waste materials to create new asphalt, including road profiling materials from old roads when they are milled and replaced.

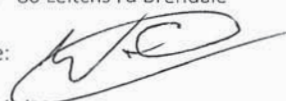
The plant is proposed within an industrial estate near a wastewater treatment plant, so there are no impacts on the community. There are also many mitigations proposed within the development application to help ensure there is minimal nuisance to local businesses. Government regulations will also ensure the plant is run to high environmental standards.

The production will generate local onsite jobs providing employment certainty for workers and associated ancillary service contractors who are currently engaged on the Downer site at Kremzow Road, Strathpine.

Name : Bill Simmons

Address: 80 Leitchs rd Brendale

Signature:



Date: 06/2/2020

Moreton Bay Regional Council

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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

Scanned By: TYRRELL@MBRCDOM On: 19/02/2020 AM Moreton Bay Regional Council

Moreton Bay Regional Council
Downer EDI development application – Leitch's Road Brendale
Reference: 2019 / 39821 / V2L - MCU Other

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture, QLD, 4510

Via email: mbrc@moretonbay.qld.gov.au

Moreton Bay Regional Council
RECORDS MANAGEMENT

18 FEB 2020

OBJ ID: _____

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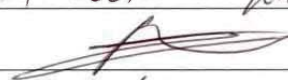
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The project is proposed on land that is zoned industrial which is appropriate for this use.

Please register this submission as support for Downer's development application.

Name:	Kenny's Kitchens & Industrial Supplies Ken Stanclive
Address:	34 ELLIS ST LAUNTON 4501
Signature:	
Date:	17/2/2020

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13 May 2020

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ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)



Brisbane
Level 1, 18 Little Cribb Street
MILTON QLD 4064
PO Box 1399
Milton QLD 4064
T : 61 7 3842 1000
F : 61 7 3842 1001

Your Ref: DA/39821/2019/V2L
Our Ref: BRJD7722_000_2_1 JAF:EJG
Date: 13 February 2020

ATTENTION: ASSESSMENT MANAGER
Moreton Bay Regional Council
PO Box 159
CABOOLTURE QLD 4510
Email: mbrc@moretonbay.qld.gov.au
Will.miller@moretonbay.qld.gov.au

Dear Sir/Madam,

RE: SUBMISSION TO APPLICATION DA/39821/2019/V2L – MATERIAL CHANGE OF USE – DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) AT LOT 15 LEITCHES ROAD, BRENDALE DESCRIBED AS LOT 15 ON SP204612.

We refer to the above application, that is currently being assessed by Council and is undergoing Public Notification. We advise that our client, Wattle Run Pty Ltd strongly objects to the development of the site for the proposed use.

We submit this properly made submission to Moreton Bay Regional Council, stating the ground of the submission and the facts and circumstances relied on to support the grounds, as detailed below.

This is a properly made submission in accordance with the Planning Act 2016; and:

- (a) Is signed by Wattle Run Pty Ltd, who is making the submission.
- (b) Is received by Council during the period for making the submission (i.e. prior to 18 February 2020).
- (c) States the name and address of the submission maker, Wattle Run Pty Ltd, PO Box 828, Aspley QLD 4034.
- (d) States the grounds, and the facts and circumstances relied on to support the grounds.
- (e) States the postal and electronic address for service relating to the submission.
- (f) Is made to Moreton Bay Regional Council, being the Assessment Manager.

1. Grounds - Stormwater

Piecemeal (Stormwater) – Not all of the subject land is included in the application.

Facts and Circumstances

The applicant has indicated throughout the Engineering and Stormwater Management Plan that works are required on lands that are not the subject of or included in the application, i.e. removal of culverts on land adjoining the west.

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

ERIC722 000 2 1

13/02/2020

The proposal also relies on significant earthworks as shown on the proposed plans that are not the subject of the application nor are the earthworks associated with this application. The application therefore should not be considered a properly made application in accordance with the Planning Act 2016.

2. **Grounds - Access**

Piecemeal (access) – Not all the subject land is included in the application.

Facts and Circumstances

The application relies on access across a number of adjoining properties for emergency access i.e. the Unity Water land and the private road (common property) to the west. That emergency access was conditioned by Council on an unassociated application. This current application does not include this land, and has not provided owner's consent for the emergency access properties, and therefore should not be considered properly made in accordance with the Planning Act 2016.

3. **Grounds – Visual Amenity**

The Visual Amenity is unacceptable.

Facts and Circumstances

The visual amenity assessment of the 50m high complex is superficial. The complex will be able to be seen, and is intrusive, from adjoining residential and recreation areas. The applicant should be required to undertake a view analysis for both daytime and nighttime from surrounding residential area. The height of the structure should also be restricted to that identified in Council Overlay Map – Building Height to reflect the existing and likely future development of the locality.

4. **Grounds – Aviation**

The Application has not considered all relevant aviation matters.

Facts and Circumstances

We note that the applicant has contacted the appropriate authorities regarding the gaseous plume and the overall height, including the Civil Aviation Authority. The advice obtained by the applicant does not consider the nearby helicopter landing facilities/pads, within proximity of the site.

5. **Grounds - Codes**

The application does not adequately address current planning scheme codes.

Facts and Circumstances

The application is reliant on previous applications for reconfiguring a lot. Such applications have included Community Title Schemes and a series of easements to deal with matters, such as access. It is unclear from this current application as to the extent of changes that maybe required to those previous approval and whether or not those changes would be approved by Council. A Change Application to previous approvals is required.

6. **Grounds – Planning Scheme**

This application should not be assessed under the provisions of a superseded planning scheme.

Facts and Circumstances

The application relies on a superseded scheme approval to address the significant issue of flooding. The previous approval is not associated with the proposed development, and therefore cannot be relied upon. This current application should be assessed solely against the current Moreton Bay Regional Council Planning Scheme, and demonstrate compliance with the relevant codes, including providing appropriate flood free access.

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

BR-07772 000 2 1

13/05/2020

7. **Grounds – Flood Overlay**

The Application has not properly addressed the Moreton Bay Regional Council Flood Overlay Code.

Facts & Circumstances

The Moreton Bay Regional Council Planning Scheme only allows filling, if associated with a previous approval. There is no association between the proposed development/ application and the previous approvals are relied upon. The application cannot rely on approvals not associated with the proposed development to achieve compliance, and therefore must be assessed in accordance with Council's current/relevant planning instruments.

8. **Grounds - Zone**

The application has not properly addressed the Limited Development Zone.

Facts & Circumstances

The subject site is partly included in the Limited Development Zone. The plans submitted with the application indicate development within the Limited Development Zone. The development is not supported in this zone and should be refused.

Conclusion

Therefore, in conclusion we request that Council refuse the application based on the above grounds, demonstrating non-compliance with Council's Planning Scheme.

Yours Faithfully,

LandPartners Pty Ltd

Signature: LP

Wattle Run Pty Ltd

Signature: [Handwritten Signature]

Position: DIRECTOR

Wattle Run Pty Ltd

Signature: [Handwritten Signature]

Position: DIRECTOR

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

From: Martin Willemse
To: [MBRC Incoming Mail](#)
Subject: DA/39821/2019/V2L-MCU - Submission - Objection 15 LEITCHES ROAD, BRENDALE DESCRIBED AS LOT 15 ON SP204612 - to Development of Asphalt Plant DA/39821/2019/V2L-MCU OTHER - MATERIAL
Date: Tuesday, 18 February 2020 8:10:48 PM

SUBMISSION TO APPLICATION DA/39821/2019/V2L-MCU OTHER – MATERIAL CHANGE OF USE – DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITES (ERA6 & ERA54) AT LOT

15 LEITCHES ROAD, BRENDALE DESCRIBED AS LOT 15 ON SP204612.

To Who It May Concern

I am writing to you to express my serious concern towards the development of an Asphalt Plant in the proximity of the Albany Creek Cricket Grounds, Soccer Fields and Rugby Grounds. We have spent a great deal of time supporting our youngsters at these fields and see this as a good clean environment for our kids to grow. I realise that there is a sewerage treatment plant nearby, but Unitywater does a great job at preventing this from impacting the environment. I can't believe that council would allow the development of an Asphalt plant in the area. It seems like madness. We strongly object!

Regards

Martin & Bronwyn Willemse

167 Tayla Close, Bridgeman Downs 4035

0406100186

ITEM 4.4 - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR HIGH IMPACT INDUSTRY, UTILITY INSTALLATION AND ENVIRONMENTALLY RELEVANT ACTIVITIES (ERA6 & ERA54) - DIVISION 9 (Cont.)

Scanned By:TYRRELL@MBRCDOM On: 19/02/2020 AM Moreton Bay Regional Council

Moreton Bay Regional Council
Downer EDI development application – Leitch’s Road Brendale
Reference: 2019 / 39821 / V2L - MCU Other

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture, QLD, 4510

Via email: mbrc@moretonbay.qld.gov.au



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The project is proposed on land that is zoned industrial which is appropriate for this use.

Please register this submission as support for Downer’s development application.

Name:	MATHEW WOODING
Address:	UNIT 1/211 LEITCHS RD
Signature:	<i>[Handwritten Signature]</i>
Date:	17/2/20